

BAREFOOT LAKES LANDSCAPE DESIGN GUIDELINES

FIRESTONE, COLORADO



GUIDE FOR BUILDERS

AUGUST 11, 2016
REVISED JULY 24, 2017

BAREFOOT LAKES LANDSCAPE VISION



Residential landscape improvements should use materials that fit with the overall community goals, and employ plant

palettes that are varied yet complementary, emphasizing year-round seasonal interest.

The Barefoot Lakes landscape is a celebration of Front Range plains and riparian landscapes. Set in a semi-arid climate, this landscape is composed of drought-tolerant grasses, perennials, and select shrubs and trees. The community's open space areas use large masses of native and adaptive species with special plantings of wildflowers, shrubs, and trees to highlight views, to frame recreation and walking opportunities, and to provide seasonal color and interest.

These landscape guidelines offer several of basic intention statements to help provide visual continuity to the surrounding open space landscape:

1. Stewardship – Water conservation and the use of native or adaptive plants is important for stewardship of natural resources and support of wildlife habitat.

2. Visual Unity – The landscape should transition seamlessly between lots, between lots and streetscape, and between lots and open space.

3. Support of Wellness – Tree and shrub plantings provide shade, habitat, and visual interest. These in turn support human comfort and encourage wellness activities like walking and recreating in nature. Appropriate amounts of native and/or adaptive plantings of grasses, perennials, shrubs, and trees are encouraged.

4. Site Awareness – The proposed landscape improvements should be sited to take advantage of existing views and microclimatic conditions while respecting existing terrain, vegetation, view corridors, and adjacent land uses.

**PLAN REVIEW SUBMITTAL REQUIREMENTS:
IMPROVEMENTS TO EXISTING SINGLE FAMILY RESIDENCE****Design Review**

Barefoot lakes has established Landscape Design Guidelines to inspire designers and to establish a unique community identity. All builders are encouraged to explore the range of selected architectural styles identified in these guidelines.

The Architectural Guidelines are intended to guide design and character, the guidelines do not exhibit all architectural style possibilities. The design review is intended as a constructive and collaborative process that encourages various design interpretations.

Design Submissions to include the following:

- Landscape plan
- Planting list
- Irrigation plan
- Fencing plan (Can be combined with landscape plan)

Electronic submissions for all of the above is required. Detailed requirements are identified below.

Further submission requests may be made on an as need basis, subject to the discretion of the review committee.

Approval:

Builders will receive written approval from the Design Review Committee. The approval letter can accompany future submissions to the Town of Firestone. Any new or revised elevations or colors must be resubmitted for approval.

All approvals may be granted or withheld at the sole discretion of the Developer or DRC. Any approval pursuant to these design guidelines does not constitute a warranty, assurance, or representation by the approving party and the approving party shall have no responsibility by virtue of such approval. All proposed plans shall comply with applicable Barefoot Lakes development plans, local and regional codes and regulations.

The DRC reserves the right to amend these guidelines in order to achieve the goals of the community.

Note: Digital Submission Required**Size:**

Minimum 22 in. by 34 in. sheets, as many as needed.

Scale:

Plans must be to scale, minimum 1in. equals 30 ft., sufficient to determine detail of planting.

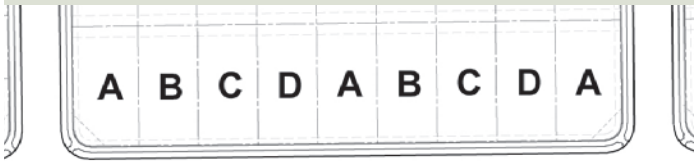
Plan information:

- Name and address of person(s) responsible for preparation of the Landscape Plan, including the name and address of the project.
- Name and address of the owner.
- Identify scale in both written and graphic form.
- North arrow / symbol.
- Location map showing the property.
- Date of plan preparation.

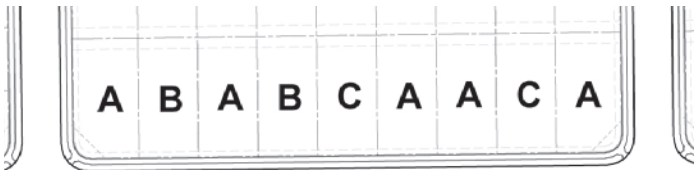
Plan Details:

- Lot dimensions.
- Easements, setbacks, site triangles.
- Streetlights and mailboxes.
- Existing improvements on the site, including but not limited to: driveway, building footprint, fence.
- Existing vegetation to remain.
- Existing vegetation to be removed.
- Location, size and name (common and scientific) of all plant material, including turf.
- Location and design details of all landscape material to be used, including paving, fencing, etc.
- Layout and description of irrigation system, including hose bibs and water source.
- Layout and description of fence types and heights
- Description of maintenance provisions.
- Identify adjacent properties (i.e.: "open space tract", "private residence", "road right of way", etc.)

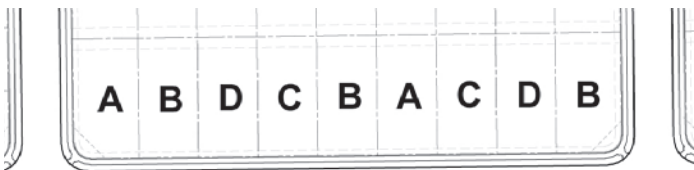
GENERAL CONSIDERATIONS



Ex. 1: Pattern too predictable.

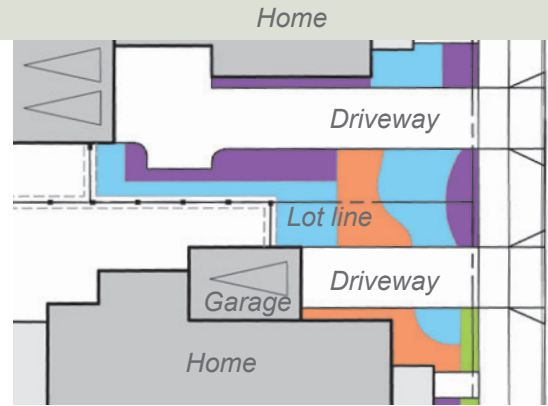


Ex. 2: Distribution favors one landscape scheme too much.

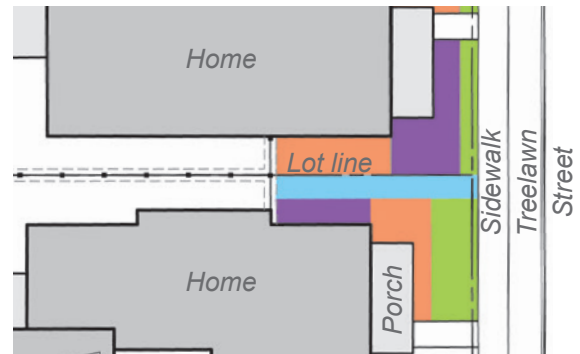


Ex. 3: Preferred pattern and distribution.

It is recommended that no more than two lots out of every four in a row should employ the same scheme landscape. Avoid patterns in the distribution of landscape design schemes. Use an (approximately) equal mix of the different design schemes.



Ex. 1: Planting beds and features should flow across lot lines in a cohesive manner.



Ex. 2: Avoid abrupt lot boundaries.

Coordinate the character of adjacent lot landscapes as described in the above examples.

All landscaping and architectural modifications must be approved by the New Construction Design Review Committee (NCDRC) prior to installation to avoid violation fines.

The New Construction Design Review Committee may, at their sole discretion, approve variance from these guidelines if circumstances merit. Items not explicitly covered in these guidelines are subject to review and approval by the NCDRC, at their sole discretion.

Firestone's Rules and Regulations for Landscaping shall be in full force and effect unless specifically superseded by more stringent criteria herein.

It is required by law to call 811 three business days prior to any digging, landscape installation, or landscape removal for underground utilities locates.

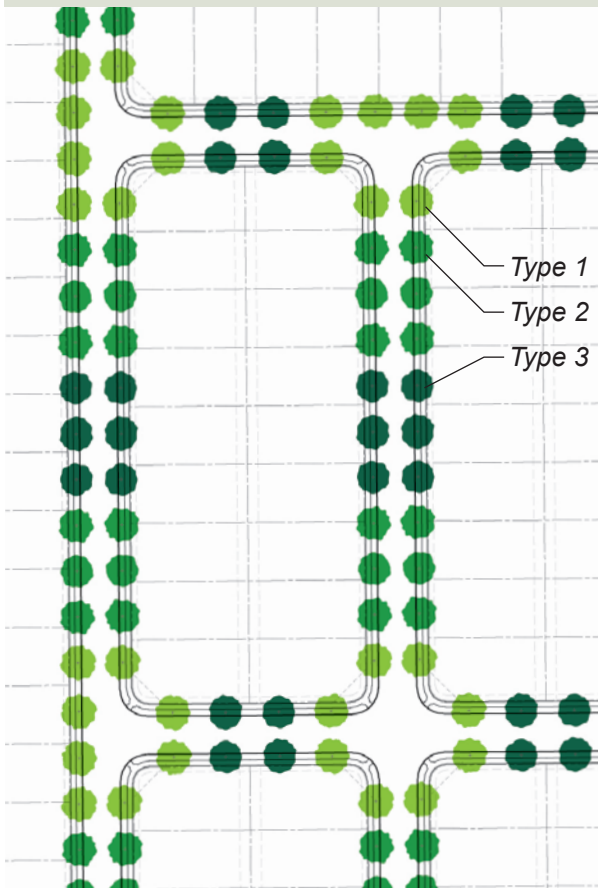
Homeowners may not alter the grading and drainage on their lot.

Builders must provide at least three to four different professionally designed landscape schemes to the New Construction Design Review Committee for approval. These schemes must meet the requirements of this document.

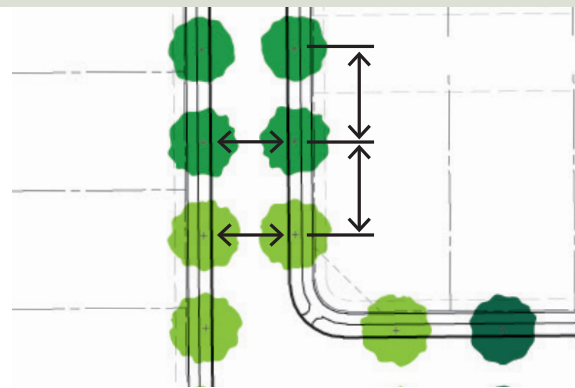
When applicable, rear landscaping and alley landscaping (outside of the fence) must be installed within 270 days of the original Owners' closing date on the home.

Auxillary Structures (such as sheds) must be approved by the NCDRC prior to installation.

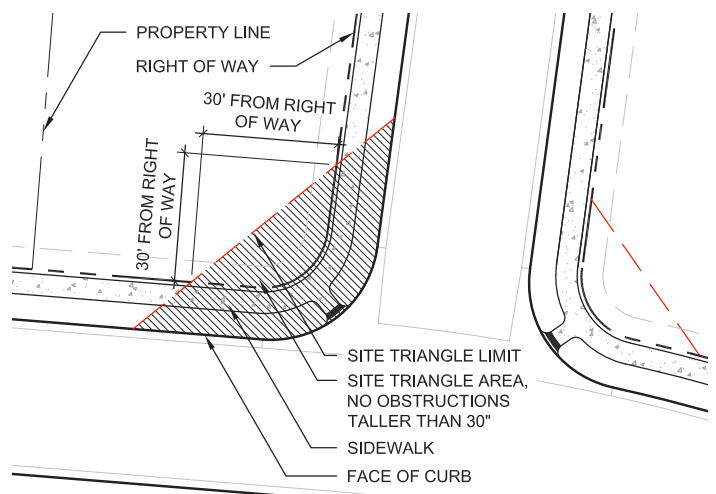
PLANTING



No more than 66% of the street trees on a single street should be of a single species. It is encouraged to use one species at intersections only. Cluster similar species together, generally in groups of 3-5.



Trees at side frontages of all corner lots should be spaced consistently with the rest of that block.



Respect site triangle restrictions, particularly at all corner lots. See above for a typical configuration:

Trees

Overall blocks must include at least one tree in the tree lawn for every 45 linear feet of lot frontage. Lots with 60 feet or more street frontage require a minimum of two trees. Lot frontage is measured separately for each street (corner lots have two frontage measurements).

At a minimum, each residential lot must have at least one (1) two-inch caliper deciduous tree **in the tree lawn** to form a consistent row along the street. Make street tree spacing consistent within individual blocks.

In those areas where driveway and/or utility easements prevent placement in the tree lawn, trees shall be placed in front yard, as near as possible to the street without encroaching into easements, a minimum of 20 feet apart to reinforce the streetscape. Avoid placing trees in center of yard.

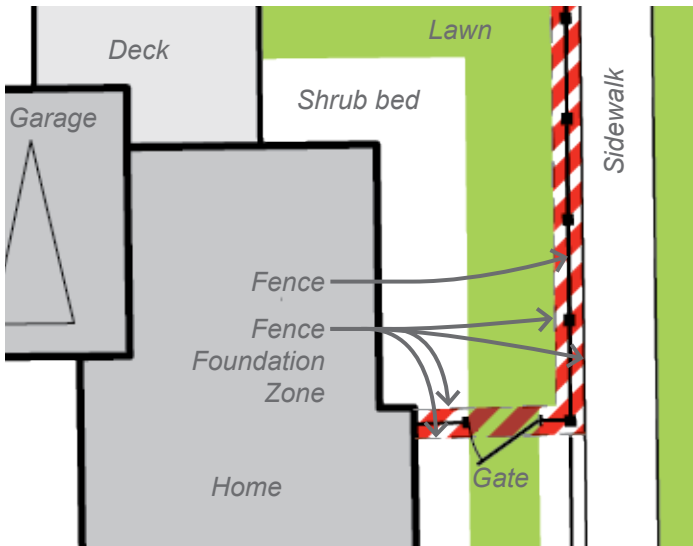
Tree Lawns

Tree lawns (the area between between sidewalk and back of street edge) are required to be completely turf, unless following the guidelines set forth:

- Ornamental grasses and low groundcovers are permitted, but must be durable so that the ground does not become unkempt or bare.
- Stepping stones and crusher fines are allowed to provide passage through non-turf conditions, but at least 50 percent of the tree lawn area must be planted and covered upon maturity (within 3-5 years).

Tree lawns will be installed by the builder or homeowner. Homeowners are responsible for maintaining tree lawns along their lot frontage(s).

PLANTING (CONTINUED)



Keep turf at least one foot back from the face of the fence. This is the **fence foundation planting zone** (emphasized with the red hatch pattern in the above diagram). Turf is permitted to run up to and through gates.



Fence foundation planting zones must be completely mulched and treated as a shrub bed per these guidelines. In the example above, the fence foundation planting zone is 30 inches wide from face of fence, and would be considered completely covered by planting.

Turf

Keep turf 5 feet away from building foundations. No more than 80 percent of the rear yard may be turf. No more than 80 percent of the front yard may be turf. Xeric alternatives with no turf can be proposed. For establishment of the lawn area, initial installations must be sod, including tree lawns. Artificial turf is prohibited.

Use a low-water turf variety, preferably a blend that includes a Texas Blue Grass, such as “Reveille” by Gardner Turfgrass Inc., “Vortex” offered by Korby Sod, the “Quick-2-Gro” and “Triple Threat” turf mixes by Arkansas Valley Seed Company, or an approved equal. Kentucky Blue Grass is not permitted unless it comprises less than one-third of a low-water turf blend.

Apply a soil amendment for all turf areas and non-native shrub areas no more than 72 hours prior to planting. For typical conditions, spread 1 to 2 inches of suitable compost and till to a depth of 4 to 6 inches.

Irrigation

The use of automatic sprinklers for turf areas and drip irrigation for shrub and perennial areas is

strongly encouraged. Irrigation must be 5 feet from foundations (3 feet for drip irrigation) per geotechnical recommendations.

Adjust individual sprinklers so they do not spray fences or buildings. This promotes material longevity and cohesive appearance.

Practice water-wise irrigation BMPs: Water deeply and infrequently to develop deep roots. Don't water between 10 a.m. and 6 p.m or when it is windy. Rain sensors with automatic shutoffs are highly encouraged.

Planting Beds at Residential Lots

Residential landscape improvements should use materials that fit with the overall community goals (see page 2) and are encouraged to have more shrubs and perennials than turf. Plants should primarily be native or adaptive, and should be planted with enough density and variety to offer year-round seasonal interest.

It is the intent that **all land areas** not covered by structures, paving, or other approved surfaces be **shrub bed** or turf. This includes areas between fencing and sidewalks. Bare ground is not permitted unless a part of a temporarily fallow garden.

PLANTING (CONTINUED)

Shrub beds are areas that include shrubs, perennials and ground cover plantings.

- Provide a variety of species, and a mix of evergreen and deciduous, grasses, shrubs and perennials.
- It is preferable to arrange plants to form masses (at maturity) rather than a scattering of isolated plants. Group plants of similar shade and water requirements. Take this a step further by “layering” plants to provide additional interest, help soften fence lines, and blend into adjacent open spaces.

All shrub beds are to be covered with mulch:

- Use mulch that fits with the material palette and prairie character of the community, such as double shredded cedar, or fiber mulch. Stained or dyed mulch is not allowed.
- Crusher fines, gravel larger than 3/4 inches diameter and river cobble greater than 3 inches in diameter are acceptable. Lava rock, unshredded bark “chips” or “nuggets”, “squeegee” or pea gravel are not allowed.
- Depth of mulch shall be four inches for wood mulch, three inches for rock mulch.
- Weed-control barriers are not required; however, Impervious or plastic materials are prohibited.

It is highly encouraged to maintain a 2 foot radius (or larger) of mulch around trees in lawn. Where possible, incorporate mulched areas around trees into larger areas of shrub beds.

Vegetable, herb, and cut flower gardens that are visible from the sidewalk must be tended to avoid blown soil and are not allowed to remain fallow for more than 8 months of the year. Raised beds are preferred.

When a homebuyer opts to not build a perimeter fence on a corner lot, the Homebuilder shall landscape the side yards of the home from the front of the structure to ten feet behind the front of the structure. The front of the structure does not include front porches or patios.

Rear yards of corner lots using the Open-Rail style of fencing must follow shrub, turf and mulch requirements for front yards as described throughout this document.

In alleys, lane areas (the zone between alley and rear yard fence and/or property boundary) must be landscaped. This area must be landscaped whether or not a fence is installed. Lane planting zones must

utilize shrubs and perennials that do not exceed 3 to 4 feet in height and are tolerant of salt and snow loads.

Plant Material Minimum Size Requirements:

- Deciduous trees - 2 inch caliper
- Ornamental trees - 2 inch caliper
- Evergreen trees - 6 foot height
- Shrubs - #5 (aka 5 gallon) container
- Groundcover, Perennials, Bunch Grasses - #1 (aka 1 gallon) container. Note: these do not count against the minimum 5 gallon shrub count.

Front Yard Plant Material Minimums:

- (5) Shrubs, (1) tree (Deciduous or Evergreen).

Rear Yard Plant Material Minimums Based on Groupings of Lot Sizes:

- *Small (50' wide or less):*
(4) Shrubs, (1) Deciduous tree.
- *Standard (51' to 75' wide):*
(5) Shrubs, (1) tree (Deciduous or Evergreen).
- *Large (76' wide or larger):*
(9) Shrubs, (2) trees (min. one Deciduous, second can be Deciduous or Evergreen).
- Note: Include a dimension for the rear property line width on the plan review submittal.

PROHIBITED OR RESTRICTED PLANTS:

- **Kentucky Blue Grass** – Unless it comprises less than one-third of a low-water turf blend.
- **Ash trees** – not allowed.
- **Russian Olive trees** – not allowed.
- **Cottonwood, Evergreen and fruit-bearing trees** may not be utilized as street trees.
- **Cottonwood trees** – not allowed on residential lots.
- **Aspen trees** – not allowed on residential lots.

For native seed mixes, refer to the Barefoot Lakes Filing No. 1 Final Development Plan (FDP) recorded on 3/21/2016 at Rec. #4185100 at the office of Weld County Clerk and Recorder.

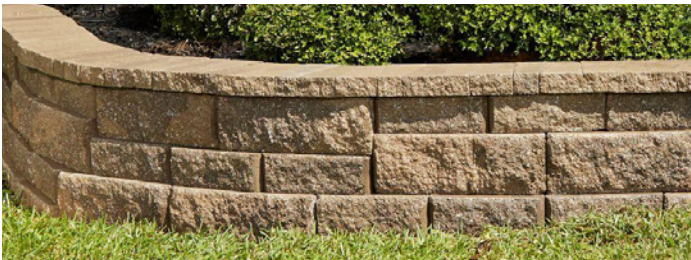
RETAINING WALLS



Above (Option 1): Dry stacked sandstone. In the example large boulders are integrated with smaller cleft blocks.



Above (Option 2): Gabion wall at neighborhood monument. Rotate stones when placing in basket so face of stone is flat to basket, minimizing voids along face of wall.



Above (Option 3): Pavestone Rockwall, Pecan color blend. Also depicts variable size and distribution. (Image from: www.HomeDepot.com)



Above (Option 3): Pavestone Rockwall, Yukon color blend. Note: image depicts color type, does not show random distribution of stones. (Image from: www.HomeDepot.com)

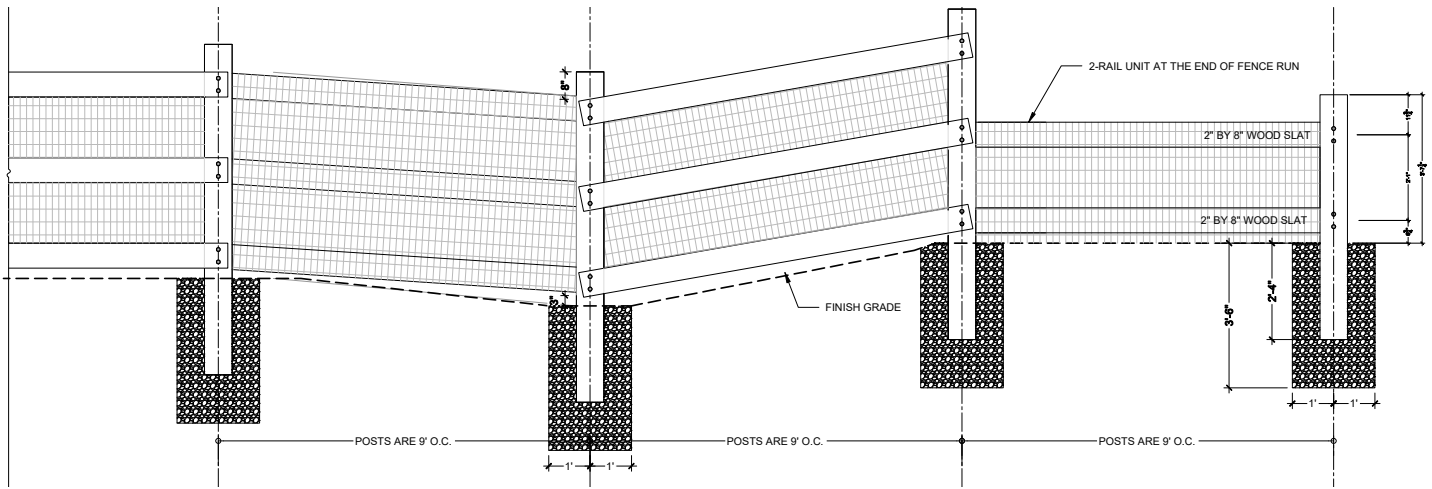


At Left (Option 4): V-12 by Venture Retaining Wall systems. Note, color shown is grey, which is not approved. Image provided for texture and cap reference. (<http://www.venturewalls.com/v12>)

Retaining walls must be in one of the following pre-approved materials (or an approved equal):

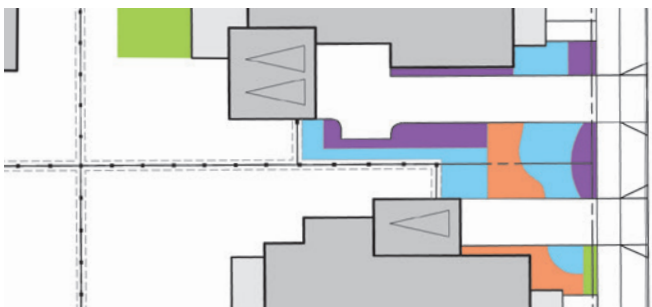
- Option 1:
 - » Dry stacked natural stone
 - » Stone Size may vary, min. 6 in. tall by 12 in. wide
 - » Sandstone, in the beige/gold/tan color range
 - » Stone may be natural boulders or cut into blocks
- Option 2:
 - » Gabion cages, filled with rock to match neighborhood monument walls
 - » Stone to be in the beige/gold/tan color range
 - » Wire to be galvanized; no minimum basket size
- Option 3:
 - » Manufacturer: Pavestone
 - » Type: Rockwall
 - » Corner lot must use a random distribution of at least three sizes
 - » Color: Pecan or Yukon
- Option 4:
 - » Manufacturer: Venture Retaining Wall Systems
 - » Type: V-12
 - » Size: 8 inches tall by 18 inches wide
 - » Color: Tan / light brown
 - » This option not allowed on corner lots

FENCING, GENERAL

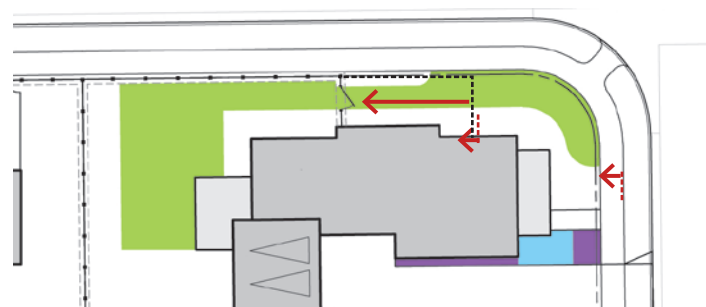


The top rail of all fencing should generally follow the slope of the ground. Rails within segments between posts should be parallel.

Step down 5' tall perimeter fencing in the last segment of a fence run that is not turning a corner.



Wing fences are pulled back from face of structure. (Refer to requirements below).



Wing fences at corner lots are pulled further back from face of structure.

The fence styles included here have been submitted to and approved by the Town of Firestone in the Barefoot Lakes Filing No. 1 Final Development Plan (FDP) recorded on 3/21/2016 at Rec. #4185100 at the office of Weld County Clerk and Recorder. Fence styles have been updated in subsequent FDP Addenda.

The fencing should reinforce the overall character of the community, and should complement the building types through the use of compatible materials of comparable quality, aesthetics and durability.

The intent is to define the edges of yards and to frame the landscape and architecture. The scale and configuration allows for privacy in the rear yards or a more open feeling that makes individual yards feel larger through borrowed landscape views. In all cases the fencing should feel like a background character element rather than a domineering, imposing form.

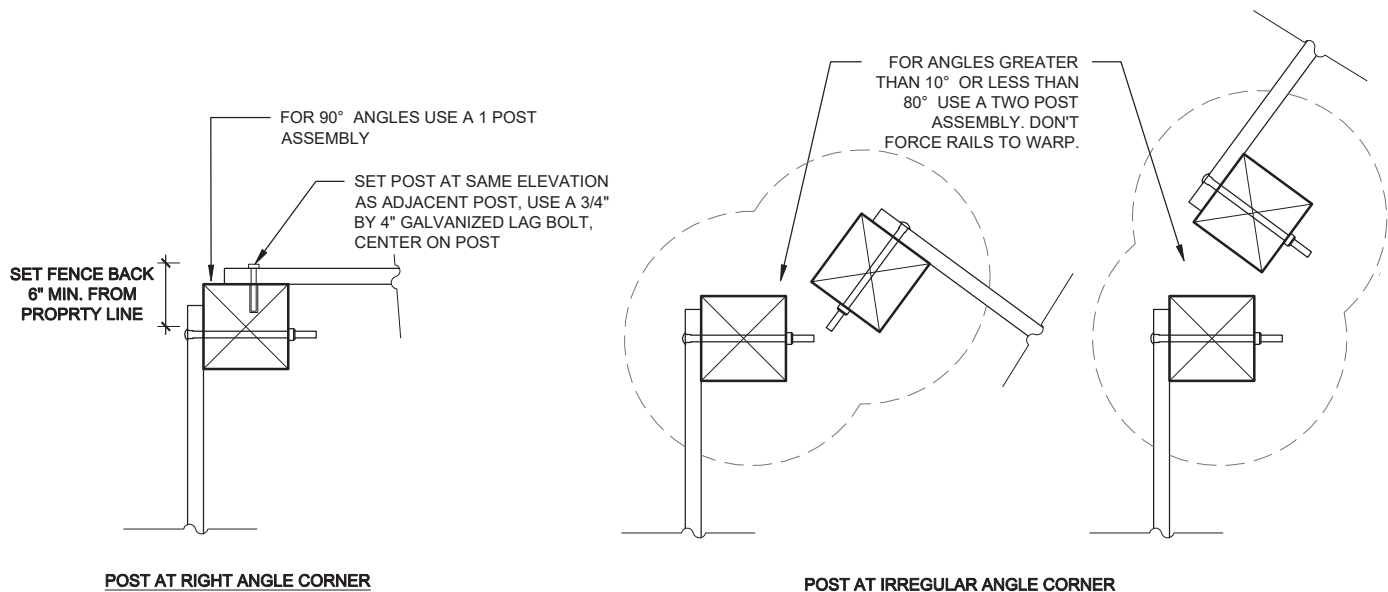
The Barefoot Lakes approved fencing materials include wood (cedar and other types), welded wire mesh and gabion infill per the approved details.

A gate may be retrofitted into an existing tract fence per the details included in this document. Proposed locations must be approved by the New Construction Design Review Committee prior to installation.

Fencing shall not be located in turf. Refer to planting requirements for additional information.

Wing fences (fences that separate a lot's front yard from rear yard) must be a minimum of six feet behind the front face of the structure and a minimum of six feet behind the edge of a porch that wraps around the corner of the structure. At corner lots, the indicated six foot distances shall be increased to ten feet.

FENCING, GENERAL (CONTINUED)



Typical post connections

Painted fences look artificial and are not in keeping with the idea of an “honest” material palette: painted fences are not allowed.

In lieu of a stain that can be difficult to match across multiple phases and builders, and that must be applied regularly, fences should be sealed with an approved **Preservative Treatment**. This clear treatment contains no dye or coloring; it causes the lignin in the wood to form a natural, rustic-weathered patina that enhances the life of the wood and does not need to be reapplied.

Per the recorded FDP, there are two approved **Preservative Treatment** products:

- LifeTime® Wood Treatment,
» Manufacturer: Valhalla Wood Preservatives Ltd,
www.valhalco.com
- Eco Wood Treatment
» Manufacturer: Int. Eco Wood Treatment,
<http://ecowoodtreatment.com>
- An equivalent product may be used if approved by the New Construction Design Review Committee.

Apply **Preservative Treatment** product per the manufacturer’s instructions.

Fencing is generally not permitted in front yards, except to define the edges of tract areas from the sides of private front yards.

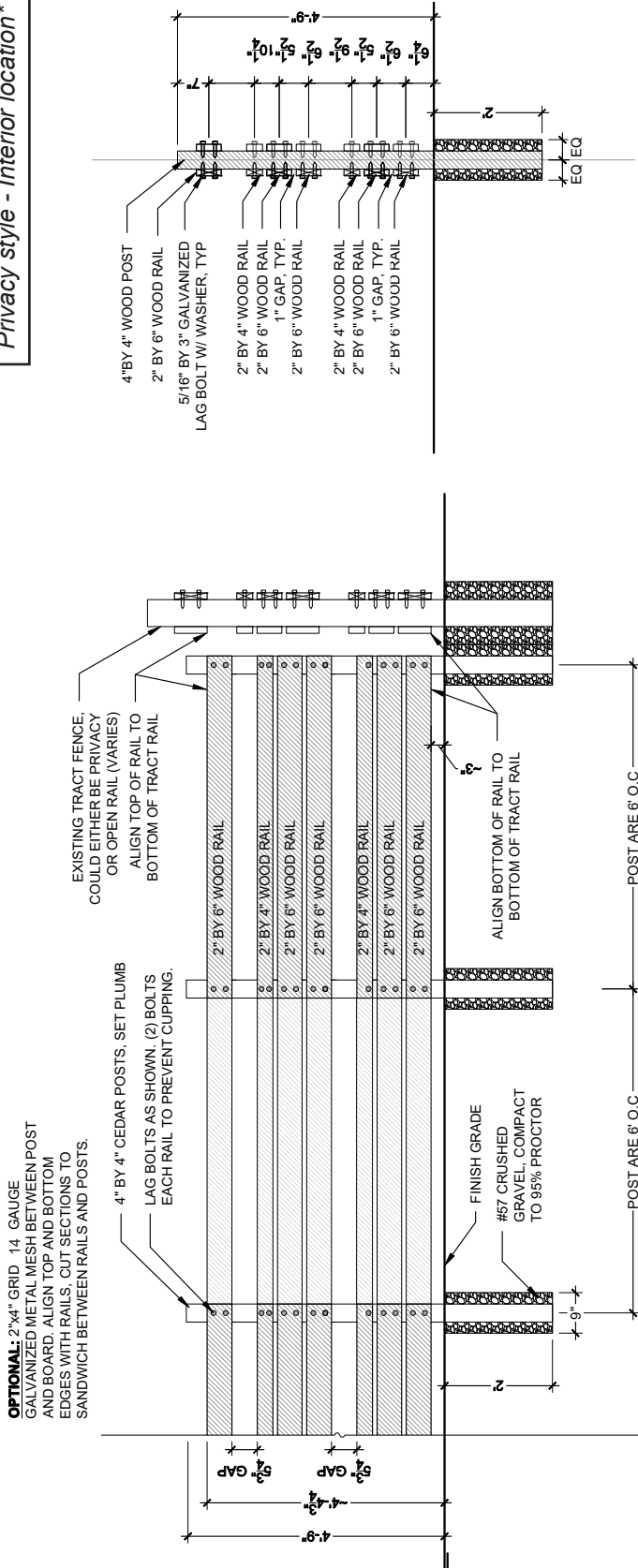
Wing fences (fences that separate a lot’s front yard from rear yard) must be a minimum of six feet behind the front face of the structure and a minimum of six feet behind the edge of a porch that wraps around the corner of the structure. At corner lots, the indicated six foot distances shall be increased to ten feet.

Fencing at interior lot lines are limited to 5 feet tall (as measured to the top of the top rail from finish grade), but can also be 4 feet 5 inches tall per any of the approved styles identified with an asterisk (*) on the following detail sheets. All fencing within an individual block must be of a consistent height.

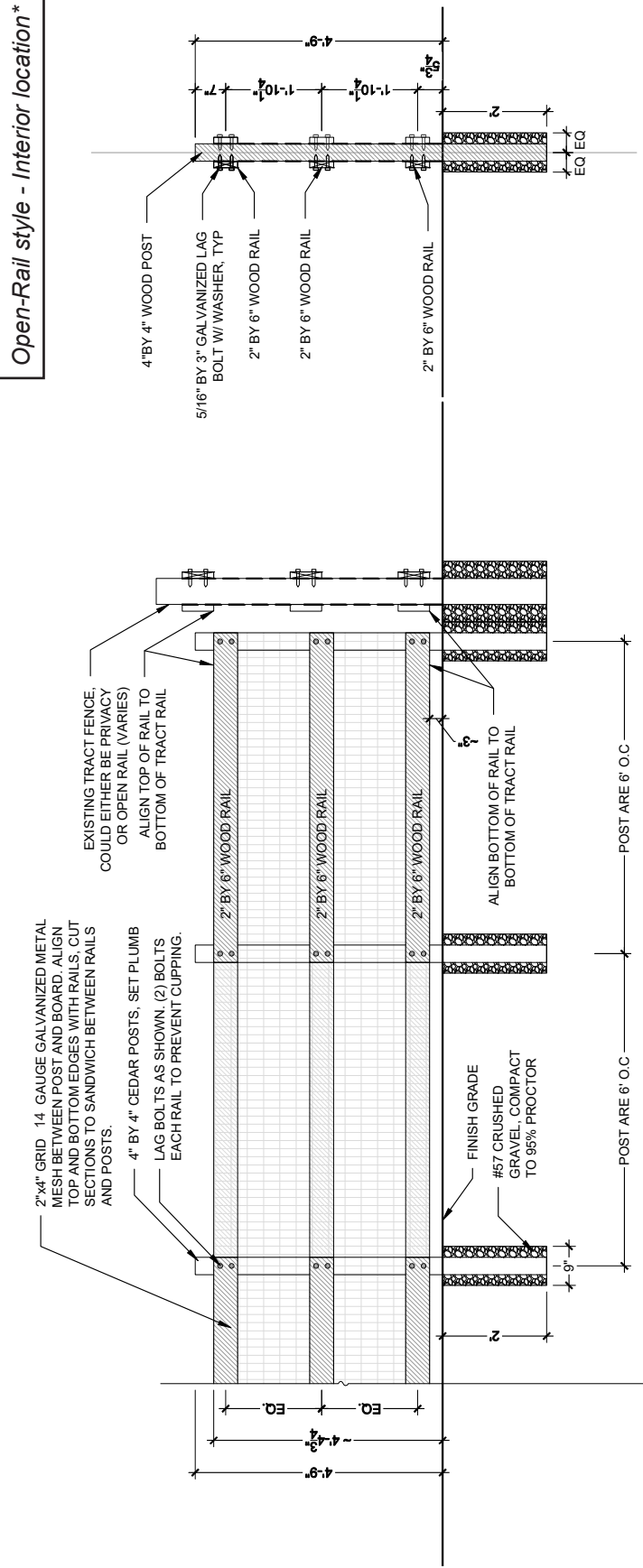
Fencing at alleys may be up to 5 feet tall, Privacy style.

Mulch from planting beds must not be mounded up onto the lower rail of the fence. This could trap moisture against the fence, causing rot and decay.

Privacy style - Interior location*

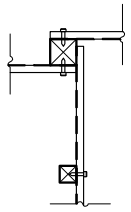
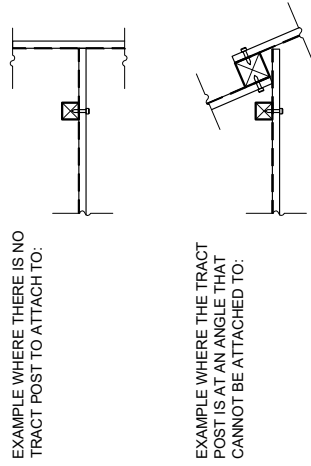
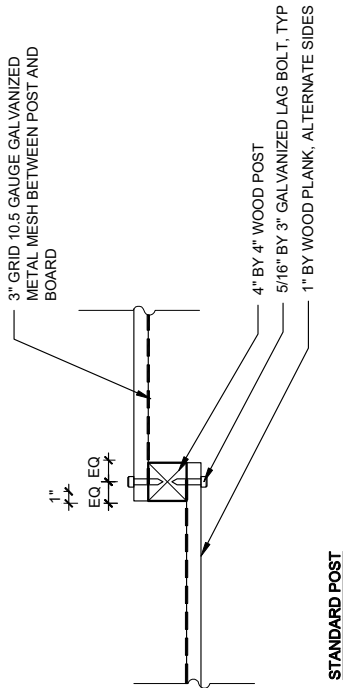


Open-Rail style - Interior location*

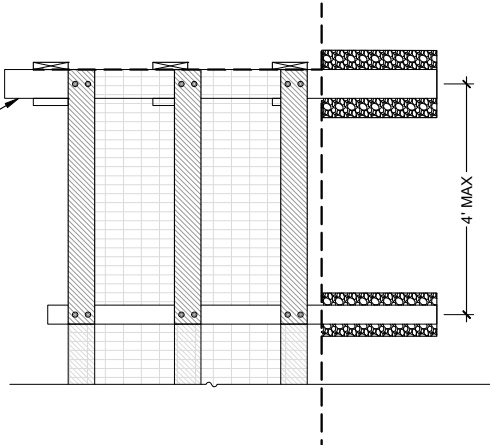


* Indicates fence style suitable for interior lot borders only. These fences are not permitted along tract landscapes.

End Condition of Interior fences at tract fence*

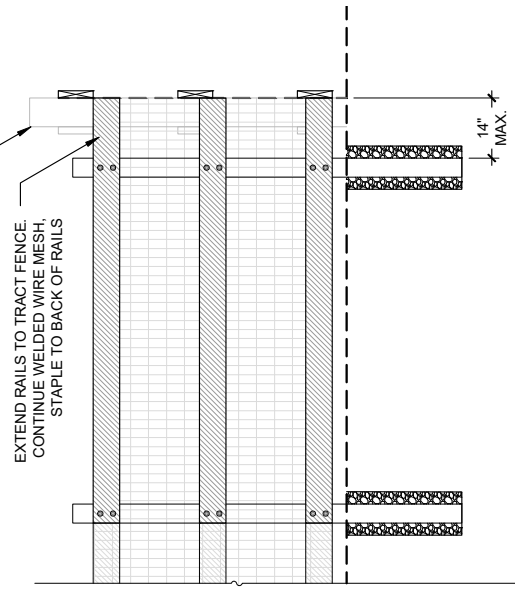


EXISTING TRACT FENCE, COULD EITHER BE PRIVACY OR OPEN RAIL (VARIES)



CONDITION AT TRACT FENCE, WHERE RAILS CAN ATTACH TO TRACT POST

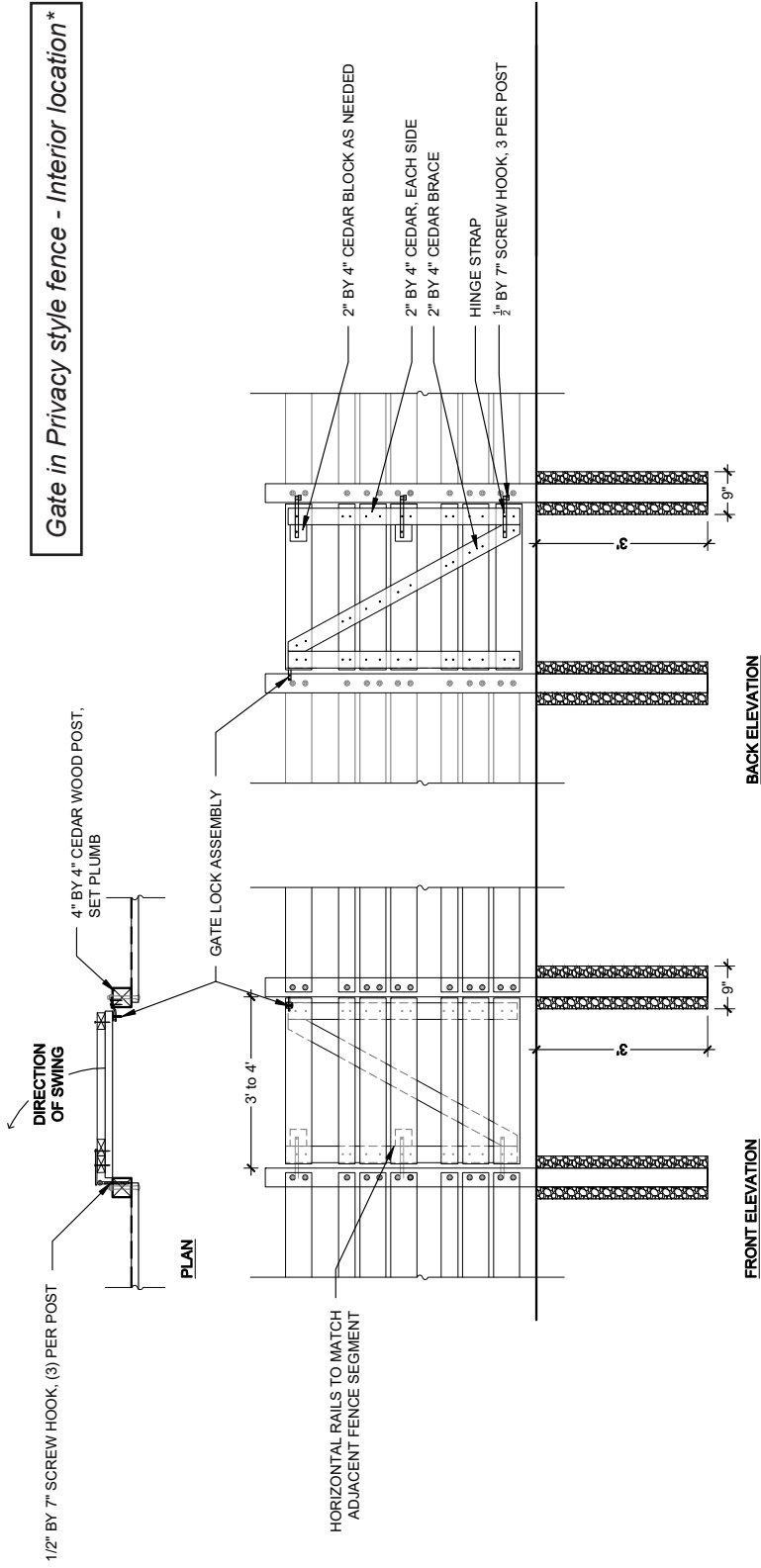
EXISTING TRACT FENCE, COULD EITHER BE PRIVACY OR OPEN RAIL (VARIES)



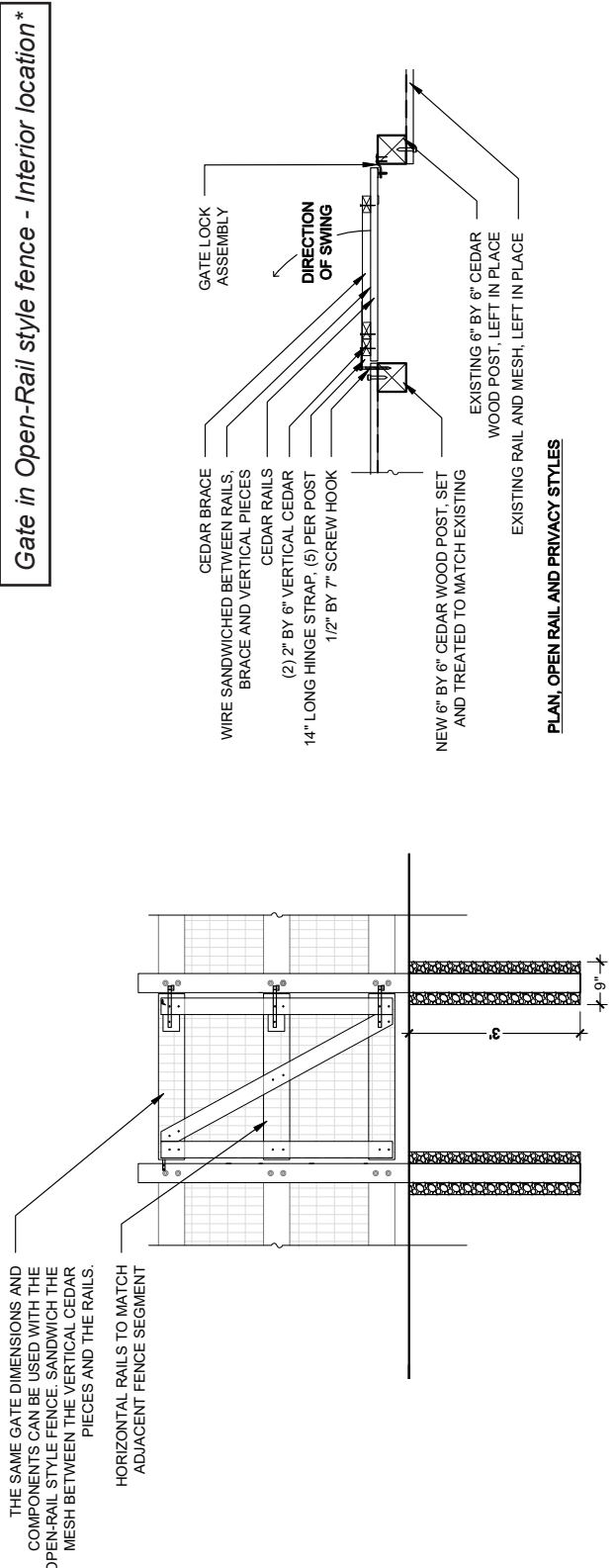
CONDITION AT TRACT FENCE, WHERE RAILS CANNOT ATTACH TO TRACT POST

* Indicates fence style suitable for interior lot borders only. These fences are not permitted along tract landscapes.

Gate in Privacy style fence - Interior location*

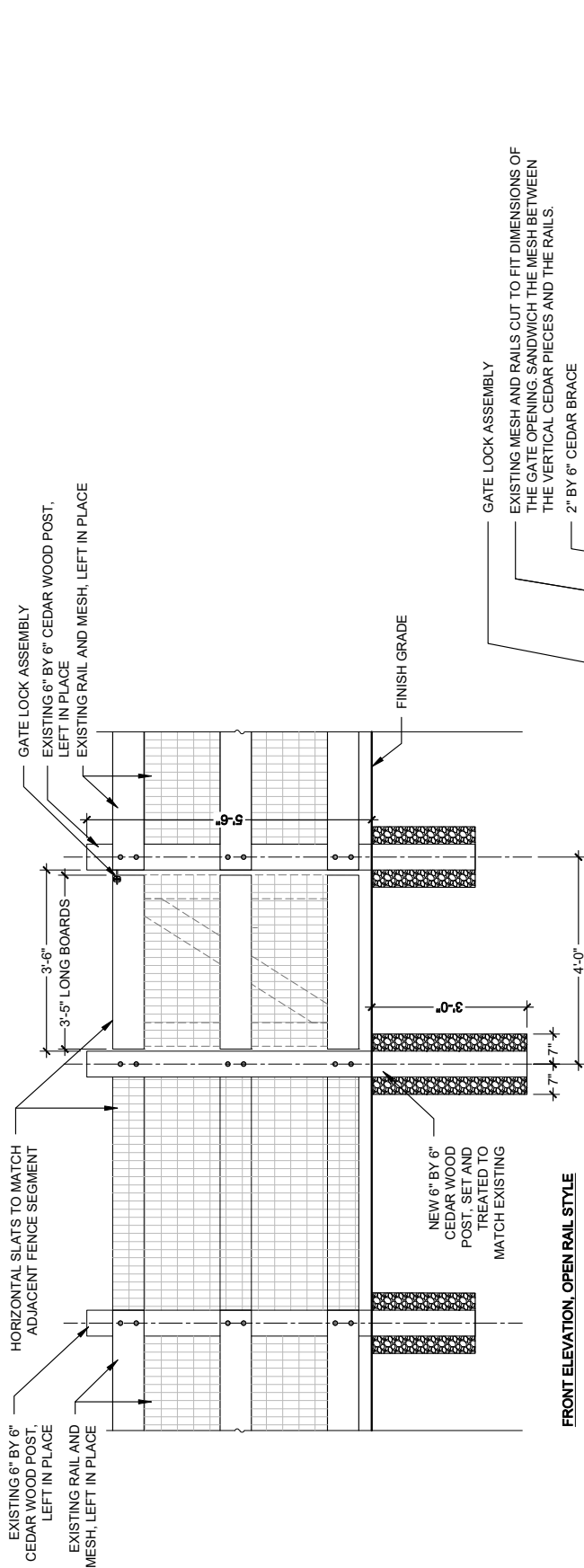


Gate in Open-Rail style fence - Interior location*

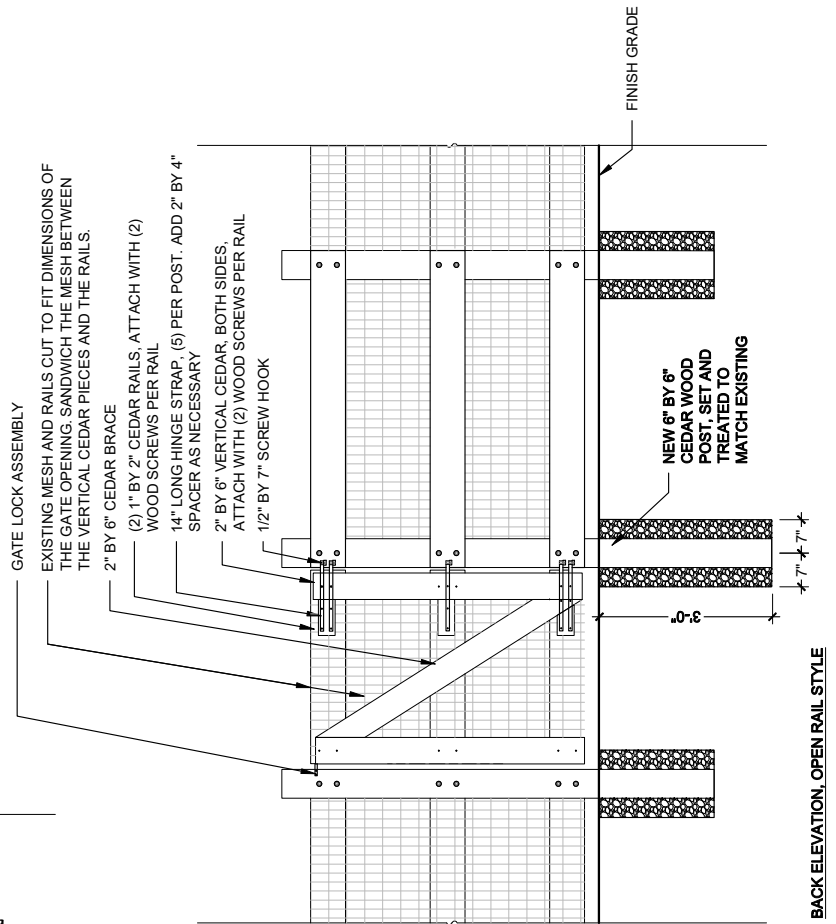


* Indicates style suitable for interior lot borders only.
 These gates are not permitted along tract landscapes.

Gate Retrofit at Existing Tract Fence, Open Rail Style

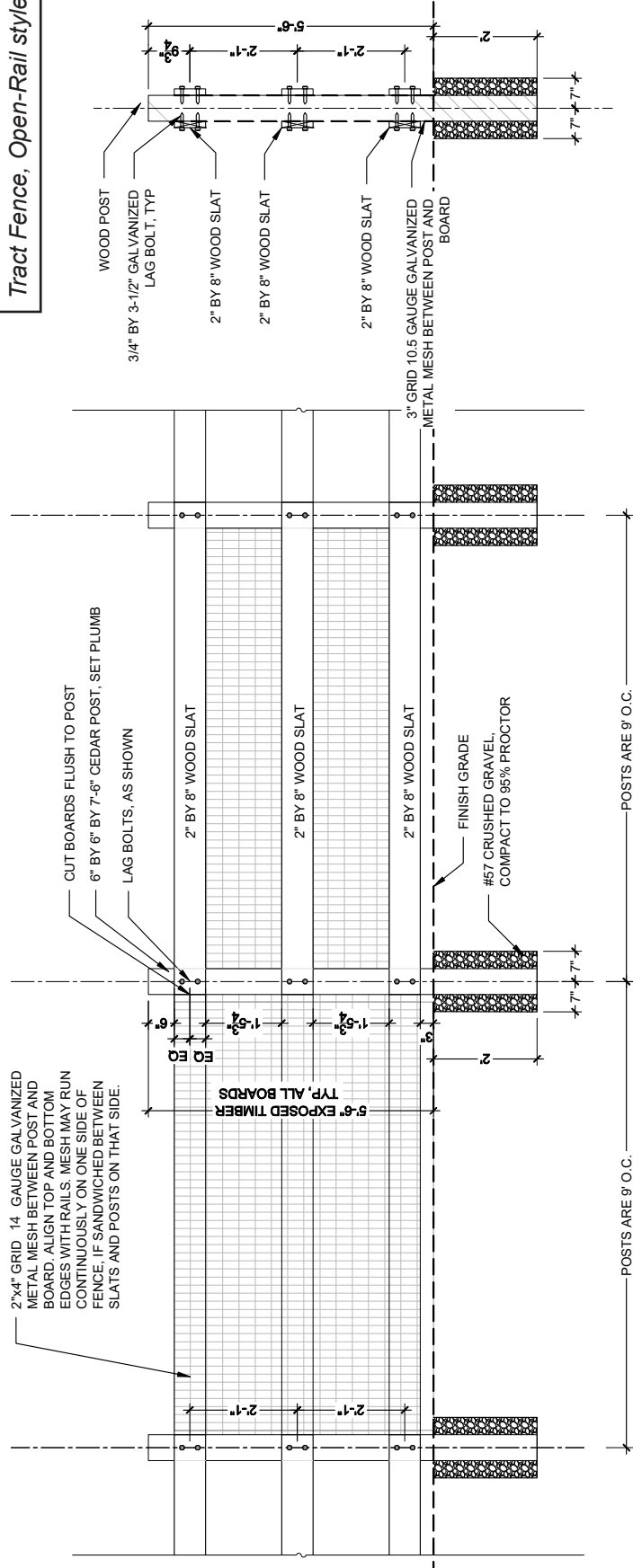


FRONT ELEVATION, OPEN RAIL STYLE

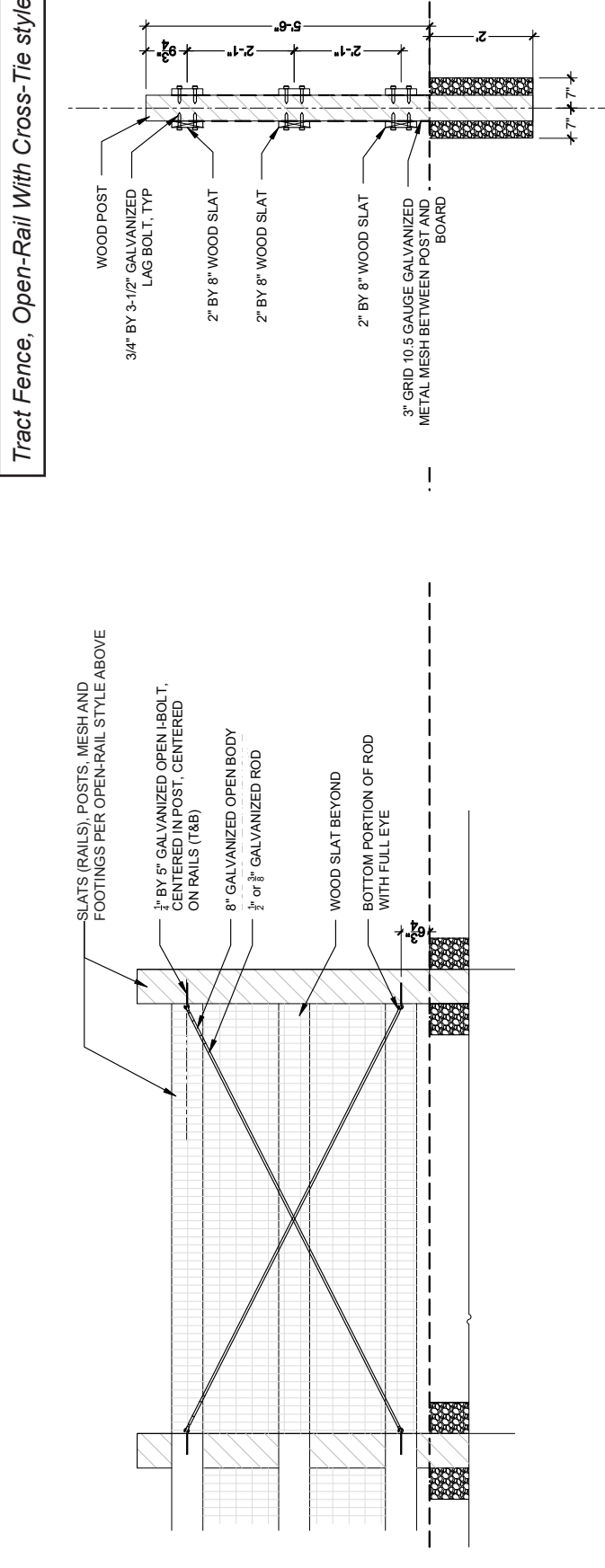


BACK ELEVATION, OPEN RAIL STYLE

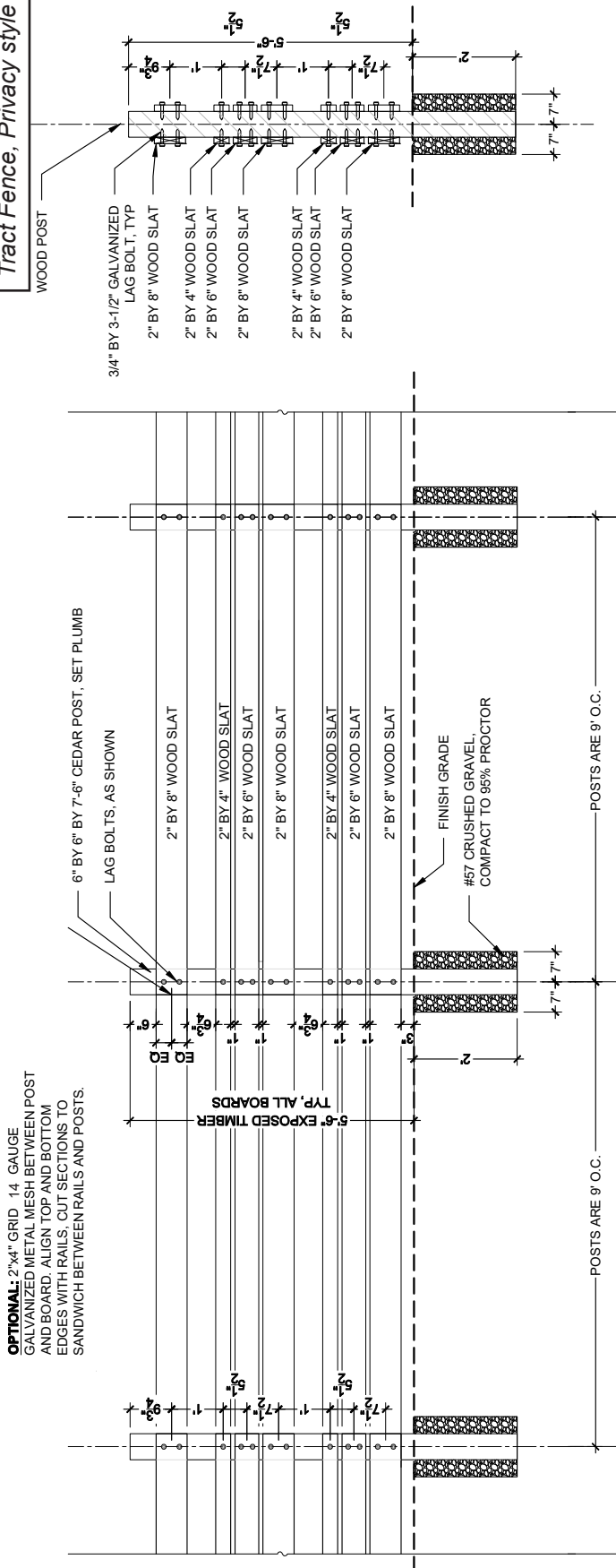
Tract Fence, Open-Rail style



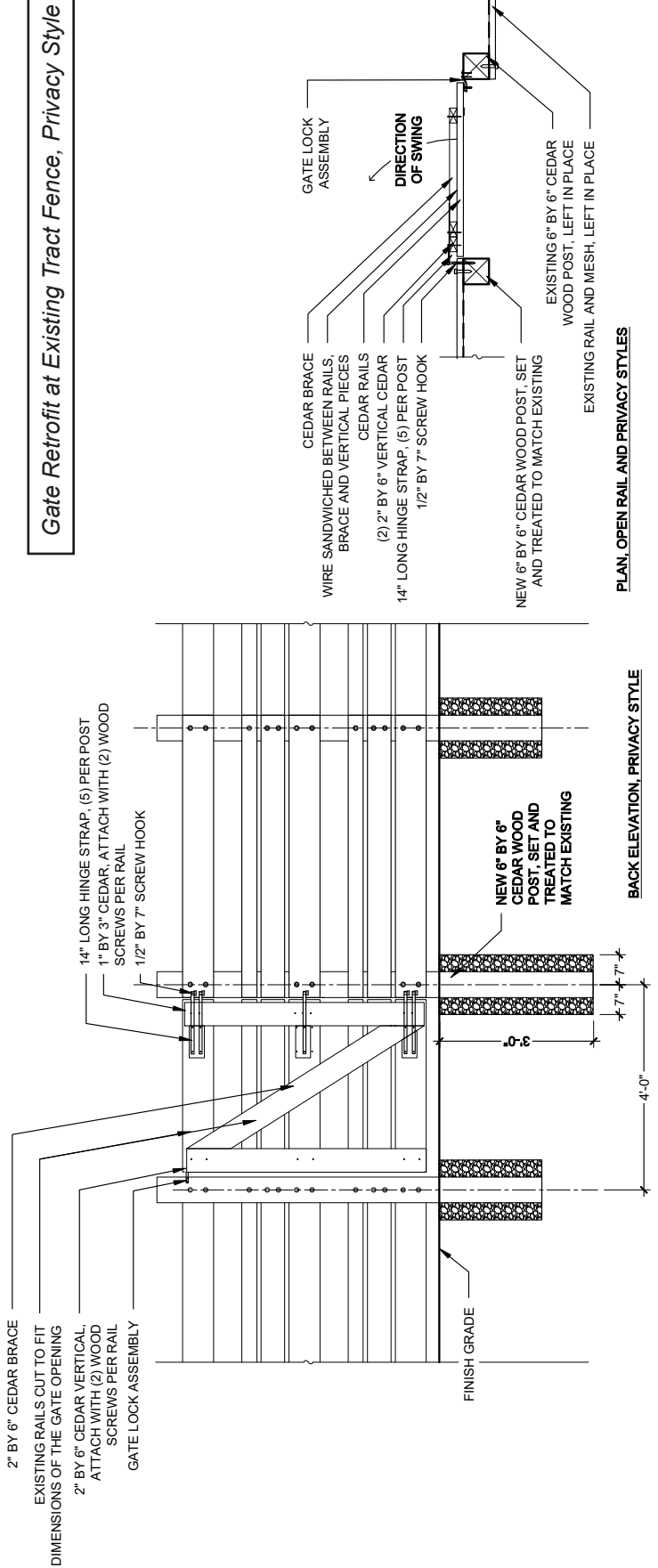
Tract Fence, Open-Rail With Cross-Tie style



Tract Fence, Privacy style



Gate Retrofit at Existing Tract Fence, Privacy Style



Tract Fence, Gabion-Infill Specialty style

