

Outline Development Plan Barefoot Lakes

Town of Firestone
Weld County
State of Colorado
Sheet 1 of 8

St. Vrain Lakes Metro District No. 1
6465 S. Greenwood Plaza Blvd,
Suite 700
Centennial, CO 80111
Tel: (303) 790-6605
Facsimile: (303) 706-9453
Email: Marc Savela
Marc.Savela@brookfieldrp.com

Barefoot LLC.
6465 S. Greenwood Plaza Blvd,
Suite 700
Centennial, CO 80111
Tel: (303) 790-6605
Facsimile: (303) 706-6311
Email: Elizabeth Kay Marchetti
Elizabeth.KayMarchetti@brookfieldrp.com

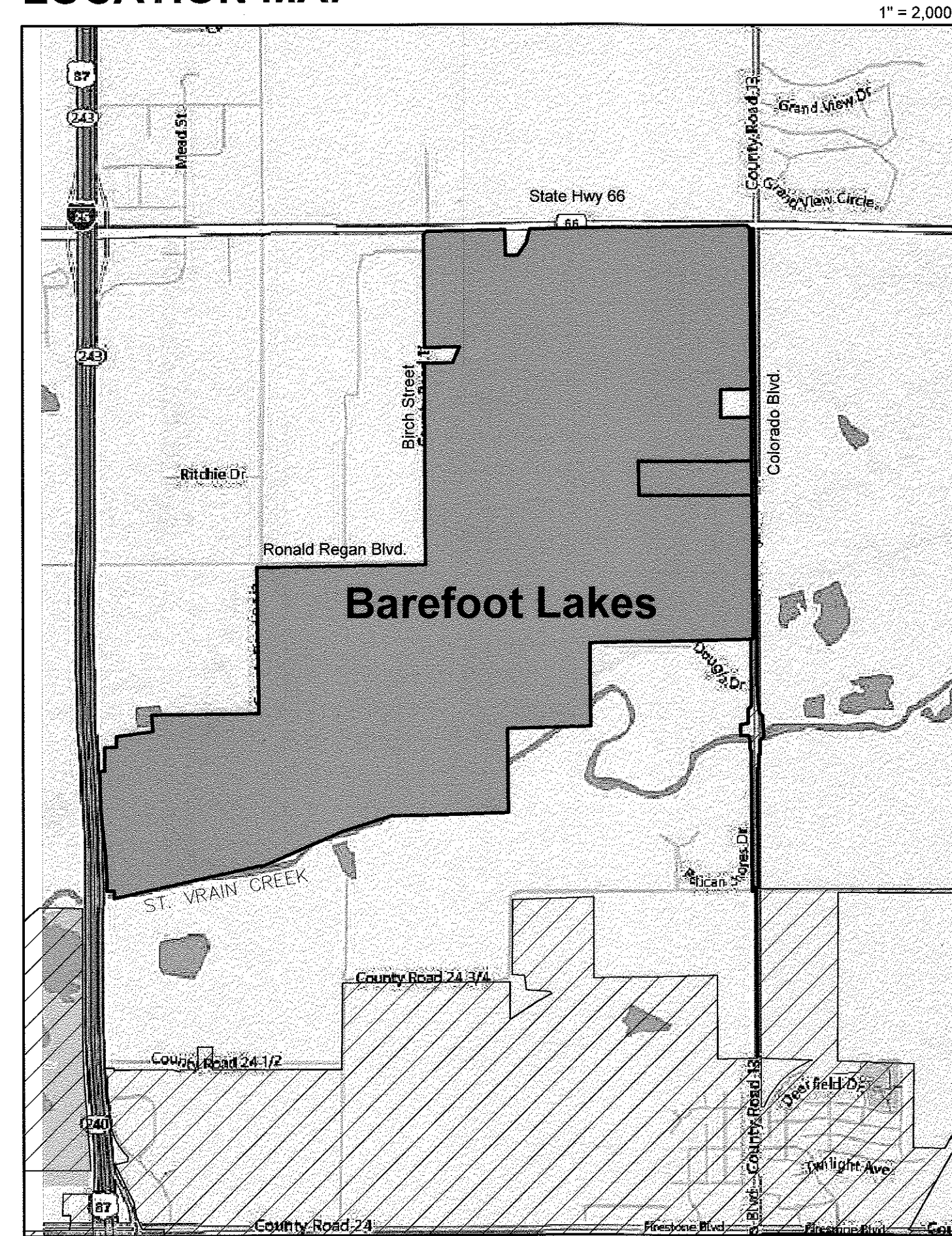
CIVIL ENGINEER:
Redland
8000 South Lincoln Street
Suite 206
Littleton, CO 80122
Tel: (720) 283-6783
Email: Fred Tafoya
ftafoya@redland.com

LANDSCAPE ARCHITECT:
DESIGNWORKSHOP
1390 Lawrence Street
Suite 100
Denver, CO 80204-2048
Tel: (303) 623-5186
Email: Jake Sippy
jsippy@designworkshop.com

DESIGNWORKSHOP
Landscape Architecture • Land Planning
Urban Design • Tourism Planning
Asheville • Aspen • Austin • Denver
Salt Lake City • Lake Tahoe
1390 Lawrence Street, Suite 200
Denver, CO 80204-2048
(303) 623-5186
Facsimile (303) 623-2260
WWW.DESIGNWORKSHOP.COM

4149335 Pages: 1 of 8
10/12/2015 04:05 PM R Fee: \$81.00
Carly Kozes, Clerk and Recorder, Weld County, CO

LOCATION MAP



SHEET INDEX

Legal Description	ODP 1
Project Narrative	ODP1-2
Site & Existing Conditions	ODP 3
Land Use, Zoning & Circulation	ODP 4
Transportation, Parks, Trails & Sub-Area Plan	ODP 5
Reference Street Sections	ODP 6-7
Phasing	ODP 8

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN SECTIONS 25, 35 AND 36, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 25 AND CONSIDERING THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 25 TO BEAR SOUTH 00°19'19" EAST, A DISTANCE OF 2,647.60 FEET WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO;

THENCE SOUTHWEST 17°35'14" WEST, A DISTANCE OF 97.56 FEET TO A POINT ON THE WESTERLY PRESCRIPTIVE RIGHT-OF-WAY LINE OF WELD COUNTY ROAD 13 AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID WESTERLY PRESCRIPTIVE RIGHT-OF-WAY, SOUTH 00°19'19" EAST, A DISTANCE OF 2555.65 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 25 AND A POINT ON THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NUMBER 1906745, IN SAID RECORDS;

THENCE ALONG THE BOUNDARIES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

- DEPARTING SAID WESTERLY PRESCRIPTIVE RIGHT-OF-WAY AND SAID WESTERLY BOUNDARY, SOUTH 88°45'03" WEST, ALONG SAID NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 25, A DISTANCE OF 484.00 FEET;
- SOUTH 00°25'49" EAST, A DISTANCE OF 450.00 FEET;
- NORTH 88°45'03" EAST, A DISTANCE OF 484.00 FEET TO A POINT ON THE WESTERLY PRESCRIPTIVE RIGHT-OF-WAY OF WELD COUNTY ROAD 13;

THENCE ALONG SAID WESTERLY PRESCRIPTIVE RIGHT-OF-WAY, SOUTH 00°25'49" EAST, A DISTANCE OF 2203.95 FEET;

THENCE CONTINUING ALONG SAID WESTERLY PRESCRIPTIVE RIGHT-OF-WAY, SOUTH 00°14'22" EAST, A DISTANCE OF 1,325.58 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 36;

THENCE ALONG SAID SOUTH LINE, SOUTH 88°29'41" WEST, A DISTANCE OF 2,602.28 FEET TO THE CENTER NORTH SIXTEENTH CORNER OF SAID SECTION 36;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36, SOUTH 00°19'03" EAST, A DISTANCE OF 1,326.34 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 36;

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36, SOUTH 88°29'44" WEST, A DISTANCE OF 1,323.13 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 36;

THENCE ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36, SOUTH 00°17'20" EAST, A DISTANCE OF 1,335.11 FEET TO THE SOUTHWEST SIXTEENTH CORNER OF SAID SECTION 36;

THENCE ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36, SOUTH 88°21'56" WEST, A DISTANCE OF 1,323.94 FEET TO THE SOUTH SIXTEENTH CORNER OF SAID SECTION 36;

THENCE ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 35, SOUTH 89°15'43" WEST, A DISTANCE OF 522.99 FEET TO THE NORTHEAST CORNER OF SUBDIVISION EXEMPTION NO. 741 AS RECORDED AT RECEPTION NUMBER 2669206, IN SAID RECORDS;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID SUBDIVISION EXEMPTION NO. 741 THE FOLLOWING TWO (2) COURSES:

- SOUTH 72°40'05" WEST, A DISTANCE OF 825.83 FEET;
- SOUTH 66°34'28" WEST, A DISTANCE OF 1,420.78 FEET TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 35;

THENCE ALONG SAID EAST LINE, NORTH 00°42'02" WEST, A DISTANCE OF 21.71 FEET TO THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN RECEPTION NUMBER 2261418, IN SAID RECORDS;

THENCE ALONG THE NORTHERLY BOUNDARY, SOUTH 77°43'35" WEST, A DISTANCE OF 2,395.38 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF INTERSTATE 25 AS DESCRIBED AT RECEPTION NUMBER 3019961, IN SAID RECORDS;

THENCE ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID INTERSTATE 25 THE FOLLOWING SEVEN (7) COURSES:

- NORTH 00°01'11" WEST, A DISTANCE OF 119.70 FEET;
- SOUTH 89°58'49" WEST, A DISTANCE OF 114.82 FEET;
- NORTH 00°01'11" WEST, A DISTANCE OF 186.21 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 3,379.26 FEET;
- NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 06°12'52", AN ARC LENGTH OF 366.52 FEET;
- TANGENT TO SAID CURVE, NORTH 06°14'03" WEST, A DISTANCE OF 601.98 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 3,182.41 FEET;
- NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05°11'20", AN ARC LENGTH OF 288.21 FEET;
- NON-TANGENT TO SAID CURVE, NORTH 01°04'25" WEST, A DISTANCE OF 483.45 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF ST. ACACIUS ANNEXATION NO. 2 TO THE TOWN OF MEAD AS RECORDED UNDER RECEPTION NO. 3187250, IN SAID RECORDS;

THENCE ALONG THE SOUTHERLY AND EASTERLY BOUNDARY OF SAID ANNEXATION THE FOLLOWING SIX (6) COURSES:

- SOUTH 88°45'13" EAST, A DISTANCE OF 82.35 FEET;
- NORTH 00°11'21" WEST, A DISTANCE OF 379.15 FEET;
- NORTH 88°08'57" EAST, A DISTANCE OF 165.82 FEET;
- NORTH 00°57'37" WEST, A DISTANCE OF 172.01 FEET;
- NORTH 82°52'03" EAST, A DISTANCE OF 590.67 FEET;
- NORTH 04°18'10" WEST, A DISTANCE OF 264.11 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF ST. ACACIUS ANNEXATION NO. 1 TO THE TOWN OF MEAD AS RECORDED UNDER RECEPTION NO. 3187249, IN SAID RECORDS;

THENCE ALONG THE SOUTHERLY AND EASTERLY BOUNDARY OF SAID ANNEXATION THE FOLLOWING TWO (2) COURSES:

- NORTH 89°31'37" EAST, A DISTANCE OF 1,708.18 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 35;
- ALONG SAID WEST LINE, NORTH 00°42'02" WEST, A DISTANCE OF 2,327.84 FEET TO A POINT ON A LINE PARALLEL AND 30.00 FEET SOUTHERLY, MEASURED AT RIGHT ANGLES FROM THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 35 SAID POINT BEING ON THE SOUTHERLY BOUNDARY OF WESTRIAN RANCH ANNEXATION TO THE TOWN OF MEAD AS RECORDED UNDER RECEPTION NO. 2937346, IN SAID RECORDS;

THENCE ALONG THE SOUTHERLY AND EASTERLY BOUNDARY OF SAID ANNEXATION THE FOLLOWING THREE (3) COURSES:

- ALONG SAID PARALLEL LINE, NORTH 89°16'34" EAST, A DISTANCE OF 2,685.60 FEET TO A POINT ON A LINE PARALLEL AND 30.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 25;
- ALONG SAID PARALLEL LINE, NORTH 00°12'43" WEST, A DISTANCE OF 2,684.23 FEET TO A POINT ON A LINE PARALLEL AND 30.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25;
- ALONG SAID PARALLEL LINE, NORTH 00°13'07" WEST, A DISTANCE OF 519.26 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF LOT A, RECORDED EXEMPTION NO. 1207-25-2 RE-4103 AS RECORDED UNDER RECEPTION NO. 3303561, IN SAID RECORDS;

THENCE ALONG THE SOUTHERLY, EASTERLY AND NORTHERLY BOUNDARIES OF SAID LOT A THE FOLLOWING THREE (3) COURSES:

- NORTH 88°54'53" EAST, A DISTANCE OF 450.00 FEET;
- NORTH 23°22'49" EAST, A DISTANCE OF 282.43 FEET;

LEGAL DESCRIPTION (Continued)

3. SOUTH 88°54'53" WEST, A DISTANCE OF 563.08 FEET TO A POINT ON A LINE PARALLEL AND 30.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25 AND A POINT ON THE EASTERLY BOUNDARY OF SAID WESTRIAN RANCH ANNEXATION;

THENCE ALONG SAID PARALLEL LINE AND EASTERLY BOUNDARY, NORTH 00°13'07" WEST, A DISTANCE OF 1,788.79 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 66 AS DESCRIBED IN BOOK 1491 AT PAGE 509, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES:

- NORTH 43°50'07" EAST, A DISTANCE OF 70.70 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF COLORADO HIGHWAY 66 ANNEXATION NUMBER FOUR TO THE TOWN OF MEAD AS RECORDED UNDER RECEPTION NO. 02301640, IN SAID RECORDS;
- ALONG SAID ANNEXATION, NORTH 88°49'43" EAST, A DISTANCE OF 1,245.14 FEET TO THE NORTHWEST CORNER OF LOT A, RECORDED EXEMPTION NUMBER 1207-25-2 RE 1450 AS RECORDED UNDER RECEPTION NO. 2305632 AND THE NORTHWEST CORNER OF BODA ANNEXATION TO THE TOWN OF MEAD AS RECORDED UNDER RECEPTION NO. 3605618, IN SAID RECORDS;

THENCE ALONG THE BOUNDARIES OF SAID LOT A AND SAID BODA ANNEXATION, THE FOLLOWING FIVE (5) COURSES:

- DEPARTING SAID HIGHWAY 66 ANNEXATION NUMBER FOUR, SOUTH 01°10'17" EAST, A DISTANCE OF 411.50 FEET;
- NORTH 87°41'05" EAST, A DISTANCE OF 196.62 FEET;
- NORTH 35°28'31" EAST, A DISTANCE OF 112.28 FEET;
- NORTH 34°20'46" EAST, A DISTANCE OF 124.91 FEET;
- NORTH 14°19'58" EAST, A DISTANCE OF 223.93 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 66 AND THE SOUTHERLY BOUNDARY OF SAID COLORADO HIGHWAY 66 ANNEXATION NUMBER FOUR;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND SOUTHERLY ANNEXATION BOUNDARY, NORTH 88°49'43" EAST, A DISTANCE OF 905.29 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 25 AND TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 66 AS DESCRIBED IN DEED RECORDED IN BOOK 1491 AT PAGE 511, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

- ALONG SAID SOUTHERLY ANNEXATION BOUNDARY, NORTH 88°49'28" EAST, A DISTANCE OF 2,390.90 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 11,420.00 FEET;
- DEPARTING SAID SOUTHERLY ANNEXATION BOUNDARY, EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 00°50'40", AN ARC LENGTH OF 168.31 FEET;
- NON-TANGENT TO SAID CURVE, SOUTH 43°43'11" EAST, A DISTANCE OF 68.87 FEET TO THE POINT OF BEGINNING, CONTAINING AN AREA OF 1,306.226 ACRES (56,899,212 SQUARE FEET), MORE OR LESS.

PROJECT NARRATIVE

Project Concept
Barefoot Lakes development (the "Development") is an approximately 1,306 acre master planned community that is intended to be developed as an asset to Firestone and the region. The Barefoot Lakes Outline Development Plan (ODP) establishes the zoning for the property as Planned Unit Development (PUD) and specifies land use categories for planning areas, permitted land uses, overall vehicular and pedestrian trail access points, general locations for open space areas as well as general utility, grading, and drainage patterns. Additional planning and technical utility information will be provided with future Preliminary Development Plans ("PDP"), Preliminary Plans ("P. Plat"), Final Development Plans ("FDP"), and Final Plats ("F. Plat") applications associated with the Development.

This PUD zoning for the property will provide for residential, commercial, mixed-use, open space, and associated public land uses. This ODP will amend and fully restate the currently approved Firestone North Outline Development Plan approved on November 9, 2014. The ODP provides for a community founded on the principles of being a distinctive place, encouraging stewardship of nature, supporting wellness, and inclusive design that provides recreation opportunities for all ages. The development includes walking trails, entry monumentation, playgrounds, and open space that together form the initial phase in a robust active and passive recreation program that includes over 200 acres of open space and parks. The overall recreation vision includes regional, community, and neighborhood amenities including activities such as swimming, hiking, biking, and sports.

Both short- and long-term development of the residential areas within this property will be complementary to the region and will provide a necessary residential base for the Town of Firestone and the expanding regional employment centers.

Regional Impacts
The ODP is generally consistent with the zoning for Barefoot Lakes (formerly known as St. Vrain Lakes) as approved through Weld County. The ODP is also consistent with the vision and current and future goals of Firestone as stated in the Firestone Master Plan. Development of Barefoot Lakes will be complementary to southwest Weld County by expanding mixed-use, commercial centers and will increase the residential base for Firestone.

The Development aims to create a pedestrian-oriented community based on a comprehensive recreation and trail network. In addition, the project intends to furnish open space and trails that will benefit the entire community.

Environmental Information
The Environmental Site Assessment prepared by ERO Resources identified a wetland area north of Planning Area 3 and along St. Vrain Creek with no additional evidence of recognized environmental conditions requiring remediation or protection. Furthermore, since the site had been used for agriculture for many preceding years, there does not appear to be any evidence of additional wetlands, underlying historical or archeological sites, or significant trees based on visual observation of the property.

Grading Concept
The site will be overlaid graded for the uses permitted by this ODP and will maintain existing drainage patterns sloping generally to the southeast. Grading of the site will be performed in a way to generally conform to the site topography and drainage patterns.

The grade of the land has been carefully studied to ensure that the transition between existing and proposed development is as seamless as possible and that it doesn't create any visual barriers or intrusions on privacy.

The streets and lots within the site will be mass-graded to establish the required drainage patterns pursuant to the Town of Firestone criteria. Grading of the various park areas will be done as needed to accomplish construction. Grade forms will be smooth and natural in appearance.

Utilities
The Barefoot Lakes water distribution system generally consists of 8-, 12-, and 16-inch water mains. The community lies within the Little Thompson Water District and will connect to their existing water mains within State Highway (SH) 66 and County Road (CR) 9.5. The system will be looped throughout the community to provide adequate water supply and fire protection. Little Thompson Water District will be the exclusive water provider to all property in the ODP.

The Barefoot Lakes wastewater system will consist of a gravity sanitary sewer, which generally drains from west to east and north to south. St. Vrain Sanitation District is the wastewater service provider to all property in the ODP.

A non-potable water system may be incorporated into the land plan to irrigate open space and/or park areas. Any non-potable water system would be owned, operated and maintained by St. Vrain Lakes Metropolitan District ("SVL Metro"), Little Thompson Water District or a combination thereof.

There are current oil and gas facilities operating within the ODP area under Surface Use Agreement(s) with the mineral interest holder. Copies of existing Surface Use Agreements are on file with the Owner. The Owner/Developer will reference these Surface Use Agreement(s) when preparing the plats and development plans for this property, to ensure compatibility of uses and compliance with these Agreement(s).

Public and Private Infrastructure Development
The development of all regional and local public and private infrastructure serving Barefoot Lakes shall be implemented as identified in the associated Subdivision Improvement Agreements, consistent with the Annexation Agreement and the Development and Vested Rights Agreement governing the Development, and as stated herein. The property is being designed to accommodate a future regional recreation center complex.

Utilities and Service Requirements
The development is planned to be served by the following utility companies:

- Metropolitan Districts - St. Vrain Lakes Metropolitan District ("SVL Metro")
- Potable Water - Little Thompson Water District
- Gas - Source Gas
- Sanitary Sewer - St. Vrain Sanitation District
- Schools - St. Vrain Valley School District, RE-1J
- Electric - United Power
- Street Maintenance - Town of Firestone
- Telephone - Century Link
- Recreation - Town of Firestone, Carbon Valley Park and Recreation District, and/or SVL Metro
- Storm Water Facility Maintenance (except operation of the lakes) - Town of Firestone
- Police Protection - Town of Firestone
- Lake Management - SVL Metro and/or Little Thompson Water District
- Fire Protection - Frederick-Firestone Fire Protection District
- Raw Water Irrigation System (if developed) - SVL Metro and/or Little Thompson Water District

Technology
This ODP contemplates further investigation into the feasibility of providing high-speed Internet fiber directly to individual homes and businesses in some or all areas of the ODP. However, nothing in this ODP obligates the provision of such service.

APPROVAL BLOCK

Approved by the Town Board of Trustees of the Town of Firestone, Colorado this 27 day of Sept, 2015 by Ordinance No 872
Paul Sorensen
Mayor
Don
ATTEST: Town Clerk



ACCEPTANCE BLOCK

By signing this ODP, the St. Vrain Lakes Metropolitan District No. 1 acknowledges and accepts all of the requirements and intent set forth herein.

Barefoot LLC, A Colorado Limited Liability Company
FKA Carma Bayshore LLC, A Colorado Limited Liability Company

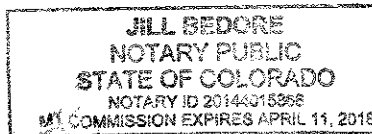
Marc Savela
AUTHORIZED REPRESENTATIVE
Elizabeth Kay Marchetti
AUTHORIZED REPRESENTATIVE

STATE OF COLORADO)
COUNTY OF WELD)

The foregoing instrument was acknowledged before me this 16th day of Sept, 2015 by

Jill Bedore
Witness my hand and official seal

Jill Bedore
Notary Public



My commission expires

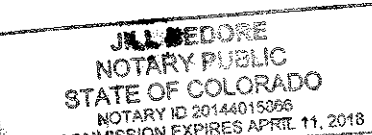
St. Vrain Lakes Metropolitan District 1
Marc Savela
AUTHORIZED REPRESENTATIVE

STATE OF COLORADO)
COUNTY OF WELD)

The foregoing instrument was acknowledged before me this 16th day of Sept, 2015 by

Jill Bedore
Witness my hand and official seal

Jill Bedore
Notary Public



My commission expires

BAREFOOT LAKES OUTLINE DEVELOPMENT PLAN

WELD COUNTY, COLORADO

NARRATIVE

SHEET NUMBER

ODP-1

PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES
NARRATIVE

Name of Application: Barefoot Lakes
Type of Submission: OUTLINE DEVELOPMENT PLAN
Filing Number:
Phase Number:
Preparation Date: 04.08.2015
Revision #1: 05.06.2015
Revision #2: 05.14.2015
Revision #3: 06.26.2015
Revision #4: 08.17.2015
Sheet 1 of 8

4149335 Pages: 2 of 8
 18/12/2015 04:05 PM 8 Feb 2016
 Carly Koppenhaver, Clerk and Recorder, Weld County, CO

Outline Development Plan Barefoot Lakes

Town of Firestone
Weld County
State of Colorado
Sheet 2 of 8

PROJECT NARRATIVE Continued

Circulation Systems

Barefoot Lakes Parkway will connect the entire property from the southern to northern boundaries and act as a scenic drive for the community. Refer to proposed street sections (ODP-6 & ODP-7) for reference of street section types that will be included in the development.

Existing and proposed major streets such as arterials and collectors are illustrated in the ODP Circulation Systems Map (ODP-4). While these streets will be designed to complement current Town street standards, the proposed street alignment and classifications are conceptual in nature and subject to change, based on future traffic studies. The street sections are for reference only and will be finalized during the PDP, Preliminary Plat, FDP and/or Final Plat processes.

Land Use, Zoning & Density

Because of the size of this development, this ODP is zoned Planned Unit Development (PUD) with a flexible application of the PUD land use categories. The ODP provides for what is identified as a "Mixed Use" designation on the ODP map sheet. This Mixed Use Land Use designation provides for Residential-A, Residential-B and Residential-C land use categories and the Neighborhood Center land uses throughout the ODP. Regional Commercial land use categories are permitted along the State Highway (SH) 66, Colorado Boulevard, County Road (CR) 9.5 and other major transportation intersections or corridors. Having this flexibility in land use categories provides a wide variety of opportunities to respond to market conditions.

This ODP has identified land use areas created to complement and be compatible with both existing and planned surrounding land uses pursuant to the Firestone Master Plan. The planning areas anticipate that the marketplace will be able to support greater density and mixed-uses in the future. The Mixed Use designation, as provided for in this ODP, is a logical approach to allow the project to best respond and take advantage of maturing market conditions. This will allow for a mix of land use categories within the planning areas so the Town and property owners can:

- Continue to update the master plan for Barefoot Lakes for the long term (25-30 years); and
- Adjust to changing marketplace forces, in both residential and commercial land uses.

A variety of housing types are permitted by this ODP, including single-family detached, single-family attached, and multi-family residential units (including duplexes, triplexes, lofts, patio homes, townhomes, apartments, and condos), the details of which will be further refined during the PDP/FDP development review processes. The single-family residential units may have either front-loaded or alley-loaded (i.e., private alleys) garages. Housing over smaller retail stores (not big box retail) is allowed and may include livework products. Also, senior group living homes or assisted living communities and facilities are allowed uses. Church schools and/or private/public charter schools are permitted in all planning areas. Final location of these options will be determined during the Preliminary Development Plan, Preliminary Plat, Final Development Plan, and Final Plat processes.

This ODP permits a maximum of 5,131 dwelling units, including a maximum of 1,823 dwelling units zoned Residential-C, excluding units that may be built above commercial space, and an anticipated 735,000 square feet of gross floor area for Regional Commercial and Neighborhood Center land uses. See land use table chart for density (ODP-4).

This ODP anticipates multiple public school sites in Barefoot Lakes: two elementary, one middle school or elementary, and one K-8 school. Planning areas 4, 5, 6, 7, 8, and 9 have been identified as potential locations for such school sites. If the St. Vrain Valley School District elects to not use these sites for construction of schools, these sites can revert to other permitted land uses.

Planning area boundaries may be modified through the PDP, Preliminary Plat, FDP, and/or Final Plat process due to the necessary realignment of any of the streets, parks, open space areas and/or adjacent planning areas.

Building Height

The building height of structures built within the boundary of this ODP shall not exceed the maximum for the PUD land use categories listed in the building height table. Buildings in which residential uses are provided over commercial uses areas as permitted within the Neighborhood Center may be up to 50-feet in height. In Open Spaces, maximum building height for a non-habitable, architectural or exercise feature, such as a tower, flag pole, or spire will not exceed 75-feet, and must be approved at the time of the FDP.

Proposed Land-Use	Firestone Zoning Categories	Max Height (ft.)
Regional Commercial	(RC)	50-feet
Neighborhood Center	(NC)	35-feet*
Residential-A	(R-A)	35-feet
Residential-B	(R-B)	35-feet
Residential-C	(R-C)	35-feet
Freestanding Garages in R Zoning	(R-A, B, C)	25-feet
Open Space	(OS)	35-feet

*If residential uses are provided over commercial uses, then those mixed-use buildings within the Neighborhood Center Land-Use planning area may be up to 50-feet in height.

The maximum building heights are based on the difference between the first floor finished floor elevation shown on the FDP and the highest point of the roof. The maximum height does not include parapet walls, HVAC screens and chimneys, which can exceed the maximum height by ten feet.

Development Schedule

The property is anticipated to start development in 2015 and continue on until fully developed. Generally, development of the site is anticipated to be phased over the next 25-30 years. The timing of the development will be subject to approval of the development as approved in Weld County, or in Firestone subject to the FDP, Final Plat and related construction drawings. Development will occur in a logical manner, based on infrastructure extension and market conditions. Initial construction is planned to begin in the southwestern portion of the development area, including the single-family detached area. The timing of the commercial spaces, both retail and office, are subject to market conditions. Prior to development, the property may continue to be used for its current agricultural use or other farming activities.

Park Development

This ODP anticipates that specific locations for parks, trails, and open-space components will be identified as appropriate during the PDP, Preliminary Plat, FDP, and Final Plat development processes.

The ODP Parks Sub Area Plan (ODP-5) identifies key areas designated for parks and open space improvements within the overall plan. Anticipated parks and open spaces include:

- Regional park in northern half of the property
- Regional park adjacent to and including Barefoot Lakes
- North/south regional trail corridors within the southern portion of the property
- North/south regional trail within the northern portion of the property
- Trail corridor along the St. Vrain Creek that may connect to the regional Firestone Trail
- Each planning area will include neighborhood parks and open space amenities as required at the PDP/FDP Level

Currently the property is planned to have passive and active recreation including trails, native landscaping, multi-use sports fields, playgrounds, amenity parking, and pedestrian amenities. The developer intends to extend trails to the edge of the property which may allow future connections to regional trails. Additional uses may be added in any of these areas during detailed design at the PDP/FDP process. Final location of each use will be determined at the time of PDP/FDP development review processing.

The entity responsible for the Park maintenance will be identified in the PDP/FDP and associated Subdivision Improvement Agreements, all consistent with the Annexation Agreement and as stated herein.

PROJECT NARRATIVE Continued

Lot Size and Frontage Standards

There will be a mix of residential dwelling unit types and sizes throughout the ODP. Additionally, there will be a variety of residential lot sizes as well. Final lot sizes will be identified during PDP/FDP development review processes.

Below are ranges of typical allowable lot sizes for R-A and R-B within the ODP.

Designation	Typical Size (sf)	Typical Dimensions	Typical Size (sf)	Size Range
Small	2,144	32x67'	2,100	3,375
Medium	4,500	50x90'	3,375	5,528
Large	7,370	67x110'	5,528	8,168
Extra Large	10,890	1/4 ac	8,168	16,335
Estate	21,780	1/2 ac	16,335	43,560

Building Setbacks

Front, rear, and side setbacks shall be established during the PDP/FDP processes. Residential building setbacks shall be appropriate for the type of residential product type being developed.

Commercial building setbacks shall be as described in the Firestone Development Regulations, or as amended during the PDP/FDP process.

In all cases the Owner/Developer shall coordinate proposed building setbacks with utility providers for necessary utility easements.

Community Character: Signage and Landscape Elements

A PUD Sign Program will be developed as part of the PDP/FDP process. The overall signage concept distinguishes between community signs, which convey the overall project identity, neighborhood signs, which identify individual neighborhoods, and commercial centers. Individual neighborhoods, and commercial centers will be identified during the PDP/FDP process, and will be allowed monuments at entries. Parks, trails, and general informational (way finding) signs will follow the theme of either the community or associated neighborhood, and will be described as part of the PDP/FDP process.

The trails, fence types, entry features, and landscape treatment will have a consistent character and material palette. Neighborhood trails will be concrete or crusher fines and will range in width from 5 to 8 feet. Multi-Use trails are depicted as section drawings on ODP-7. The landscape palette will reflect the natural setting of Barefoot Lakes and will be composed of native or adaptive vegetation suitable for the Front Range's semi-arid climate.

Private Maintenance and Enforcement

St. Vrain Lakes Metropolitan District 1 (SVL Metro) and Bayshore Homeowner's Association (Association) have been established to serve the development. SVL Metropolitan will be governed by a Service Plan and the Association will be governed by Covenant's Conditions and Restrictions. SVL Metropolitan and/or Association(s) will be responsible for the maintenance of all common elements as set forth in the ODP. Any private roads, trails, open space, and parks system within the project are expected to be maintained by a special district or homeowner's association.

DESIGNWORKSHOP

Landscape Architecture • Land Planning

Urban Design • Tourism Planning

Asheville • Aspen • Austin • Denver

Salt Lake City • Lake Tahoe

1390 Lawrence Street, Suite 200
Denver, CO 80204-2048
(303) 623-5186
Facsimile (303) 623-2260

WWW.DESIGNWORKSHOP.COM

BAREFOOT LAKES OUTLINE DEVELOPMENT PLAN WELD COUNTY, COLORADO

NARRATIVE

SHEET NUMBER

ODP-2

PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES

Sheet:
NARRATIVE

Name of Application: Barefoot Lakes
 Type of Submittal: OUTLINE DEVELOPMENT PLAN
 Filing Number:
 Phase Number:
 Preparation Date: 04.08.2015
 Revision #1: 05.06.2015
 Revision #2: 05.14.2015
 Revision #3: 06.26.2015
 Revision #4: 08.17.2015
 Sheet 2 of 8

**BAREFOOT LAKES
 OUTLINE DEVELOPMENT PLAN
 WELD COUNTY, COLORADO**

**SITE
 AND EXISTING
 CONDITIONS**

SHEET NUMBER

ODP-3

PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES
 Sheet:
 SITE AND EXISTING CONDITIONS

Name of Application: Barefoot Lakes
 Type of Submittal: OUTLINE DEVELOPMENT PLAN
 Filing Number:
 Phase Number:
 Preparation Date: 04.08.2015
 Revision #1: 05.06.2015
 Revision #2: 05.14.2015
 Revision #3: 06.26.2015
 Revision #4: 08.17.2015
 Sheet 3 of 8

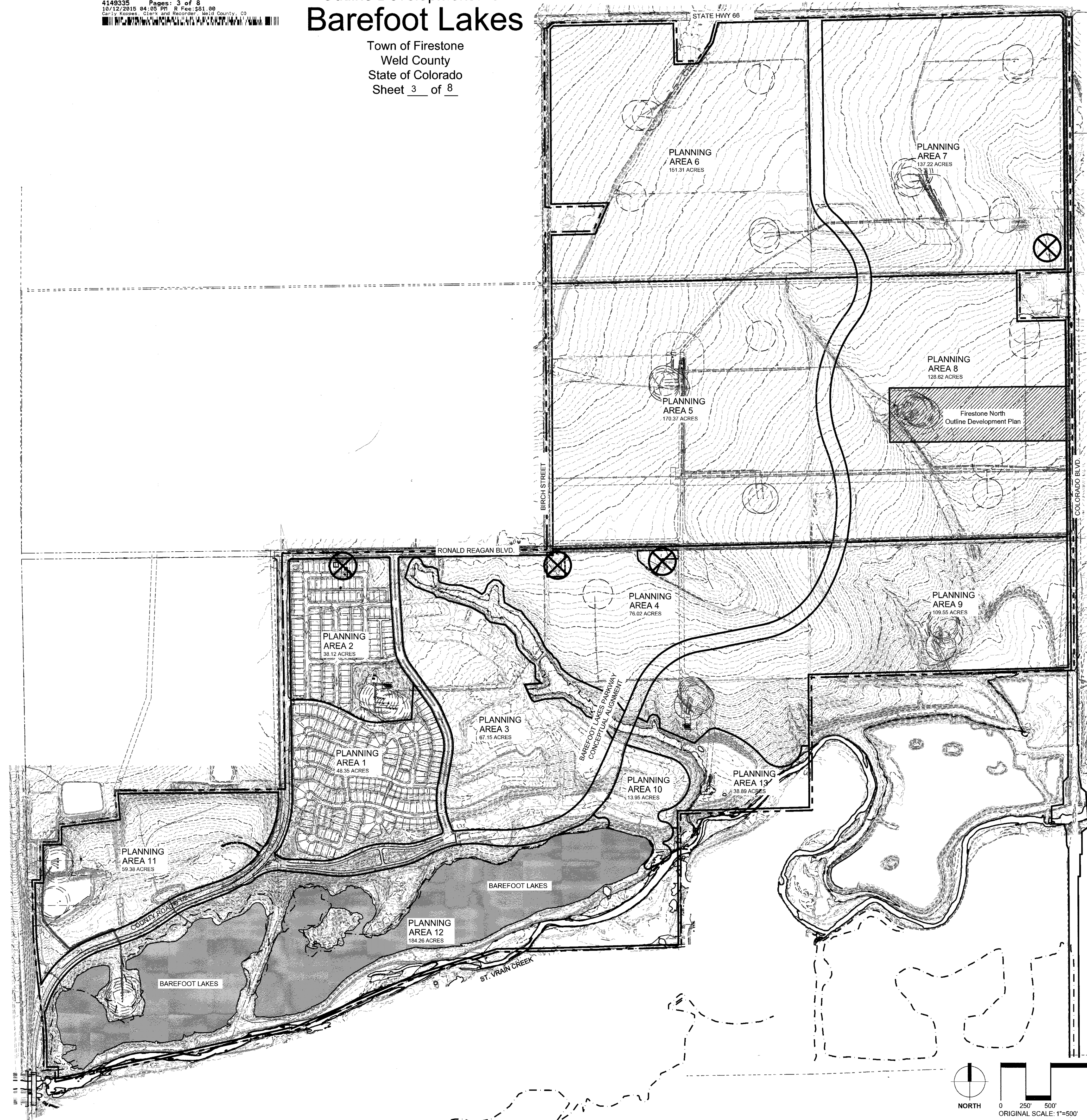
4149335 Pages: 3 of 8
 10/12/2015 04:05 PM R Fee: \$61.00
 City: Kolorado, Clerk and Recorder: Weld County, CO
 [Barcode]

**Outline Development Plan
 Barefoot Lakes**

Town of Firestone
 Weld County
 State of Colorado
 Sheet 3 of 8

LEGEND

- BUILDINGS TO BE REMOVED
- ODP BOUNDARY
- SEWER
- GAS
- CONTOURS (1-FOOT INTERVAL)
- OTHER UTILITIES (WATER, ELECTRIC)
- SWALE
- PROPOSED FEMA FLOOD PLAIN LIMITS PER CLOMR
- JW - JURISDICTIONAL WETLAND
- USW - WATERS OF THE US WETLAND
- EXISTING GAS WELL 150' EASEMENT
- LAKE
- OPEN SPACE
- PLANNING AREA
- FIRESTONE NORTH ODP



BAREFOOT LAKES LAND-USE TABLE

Total Property Acreage: 1,306

PLANNING AREA	PUD LAND USE CATEGORY*	PARCEL ACREAGE	RANGE OF DWELLING UNITS PER ACRE (DU/ACRE)	POTENTIAL PLANNED DWELLING UNITS	COMM. SQUARE FOOTAGE (ESTIMATE)
1	RES-A	48.35	3.5	167	
2	RES-A	38.12	3.3	127	
3	RES-A, RES-B	67.15	3.5 - 6	336	
4	MXED-USE (NC, RES-A, RES-B, RES-C)	76.02	3.5 - 12	382	
5	MXED-USE (NC, RES-A, RES-B, RES-C)	170.37	3.5 - 12	671	
6	MXED-USE (RC, NC, RES-A, RES-B, RES-C)	151.31	3.5 - 18	941	145,000
7	MXED-USE (RC, NC, RES-A, RES-B, RES-C)	137.22	3.5 - 18	981	145,000
8	MXED-USE (RC, NC, RES-A, RES-B, RES-C)	128.62	3.5 - 18	704	
9	MXED-USE (NC, RES-A, RES-B, RES-C) + RC	109.55	3.5 - 18	426	145,000
10	RES-A, RES-B, RES-C	13.95	3.5 - 18	70	
11	MXED-USE (RC, NC, RES-A, RES-B, RES-C)	59.38	3.5 - 18	327	300,000
12 (Lake Open Space)	Open Space	184.26			
13 (Open Space)	Open Space	38.89			
Street ROW	Street ROW	82.82			
TOTAL		1,306.00		5,131	735,000

Land Use Key

Flexible Zoning includes the following Firestone PUD land use categories:

- R-A = Residential A
- R-B = Residential B
- R-C = Residential C
- RC = Regional Commercial
- NC = Neighborhood Center
- OS = Open Space (Approved use in all categories and can include Recreation Center per Firestone Code)

Land-Use Table Notes

- Exact acreage for the planning areas with more than one allowed land use will be determined during the PDP.
- The number of dwelling units can move within the project as long as the project's maximum number of 5,131 (including a maximum of 1,823 zoned Residential-C) has not been reached.
- While planning areas 6, 7, 9 and 11 currently identify an estimated acreage for Neighborhood Center, exact residential unit counts and neighborhood center square footages will be specified in the PDP/FDP once market opportunities are known.
- Two to three school sites are anticipated. Planning areas 4, 5, 6, 7, 8 & 9 have been identified as potential locations for school sites.
- The number of lots identified in Planning Area 1 and Planning Area 2 are based on the currently recorded subdivision plat titled Weld County Barefoot Lakes Filing No. 1 - A Replat of a Portion of St. Vrain Lakes Filing No. 1.

LEGEND

- BUILDINGS TO BE REMOVED
- ODP BOUNDARY
- SEWER
- GAS
- CONTOURS (1-FOOT INTERVAL)
- OTHER UTILITIES (WATER, ELECTRIC)
- SWALE
- PROPOSED FEMA FLOOD PLAIN LIMITS PER CLOMR
- JURISDICTIONAL WETLAND
- WATERS OF THE US WETLAND
- EXISTING GAS WELL 150' EASEMENT

- LAKE
- OPEN SPACE
- PLANNING AREA

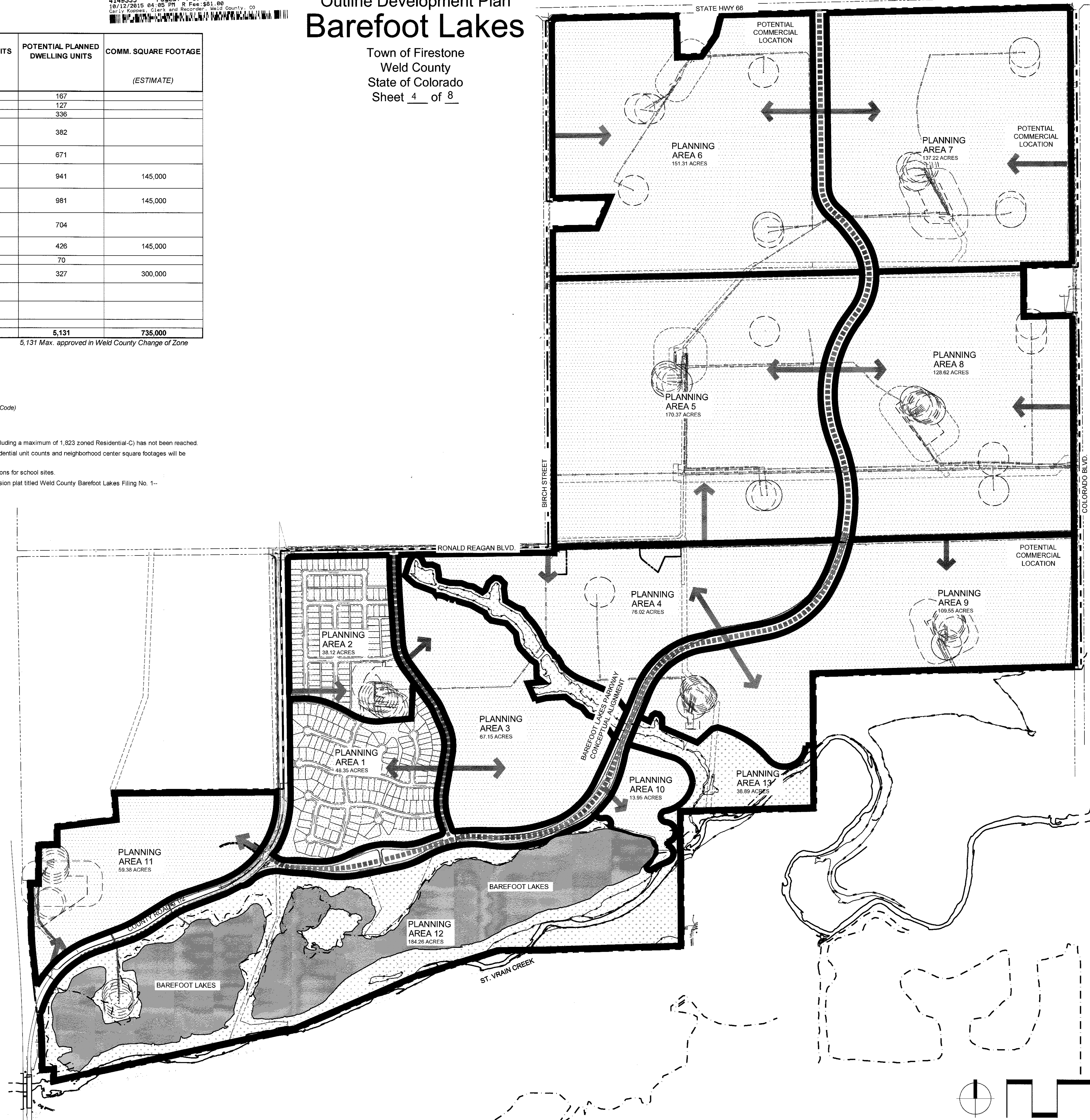
CIRCULATION

- PARKWAY (VARIABLE ROW)
- PROPOSED ROAD CONNECTION

4149335 Pages: 4 of 8
10/12/2015 04:05 PM R Fee: \$81.00
Cathy Korman, Clerk and Recorder, Weld County, CO

**Outline Development Plan
Barefoot Lakes**

Town of Firestone
Weld County
State of Colorado
Sheet 4 of 8



DESIGNWORKSHOP

Landscape Architecture • Land Planning
Urban Design • Tourism Planning
Asheville • Aspen • Austin • Denver
Salt Lake City • Lake Tahoe

1390 Lawrence Street, Suite 200
Denver, CO 80204-2048
(303) 623-5186
Facsimile (303) 623-2260

WWW.DESIGNWORKSHOP.COM

**BAREFOOT LAKES
OUTLINE DEVELOPMENT PLAN
WELD COUNTY, COLORADO**

**LAND USE DISTRICTS,
CIRCULATION SYSTEM,
LAND USE & ZONING**

SHEET NUMBER

ODP-4

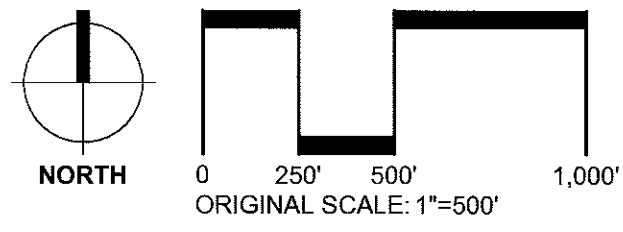
PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES

Sheet:
LAND USE DISTRICTS, CIRCULATION
SYSTEM, LAND USE & ZONING

Name of Application: Barefoot Lakes
Type of Submittal: OUTLINE DEVELOPMENT PLAN
Filing Number:
Phase Number:
Preparation Date: 04.08.2015
Revision #1: 05.06.2015
Revision #2: 05.14.2015
Revision #3: 06.26.2015
Revision #4: 08.17.2015
Sheet 4 of 8



BAREFOOT LAKES
OUTLINE DEVELOPMENT PLAN
WELD COUNTY, COLORADO

**TRANSPORTATION,
PARKS AND TRAILS
SUB-AREA PLAN**

SHEET NUMBER

ODP-5

PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES
Sheet:
TRANSPORTATION, PARK AND TRAILS
SUB-AREA PLAN
Name of Application: Barefoot Lakes
Type of Submittal: OUTLINE DEVELOPMENT PLAN
Filing Number:
Phase Number:
Preparation Date: 04.08.2015
Revision #1: 05.06.2015
Revision #2: 05.14.2015
Revision #3: 06.26.2015
Revision #4: 08.17.2015
Sheet 5 of 8

Outline Development Plan
Barefoot Lakes

Town of Firestone
Weld County
State of Colorado
Sheet 5 of 8

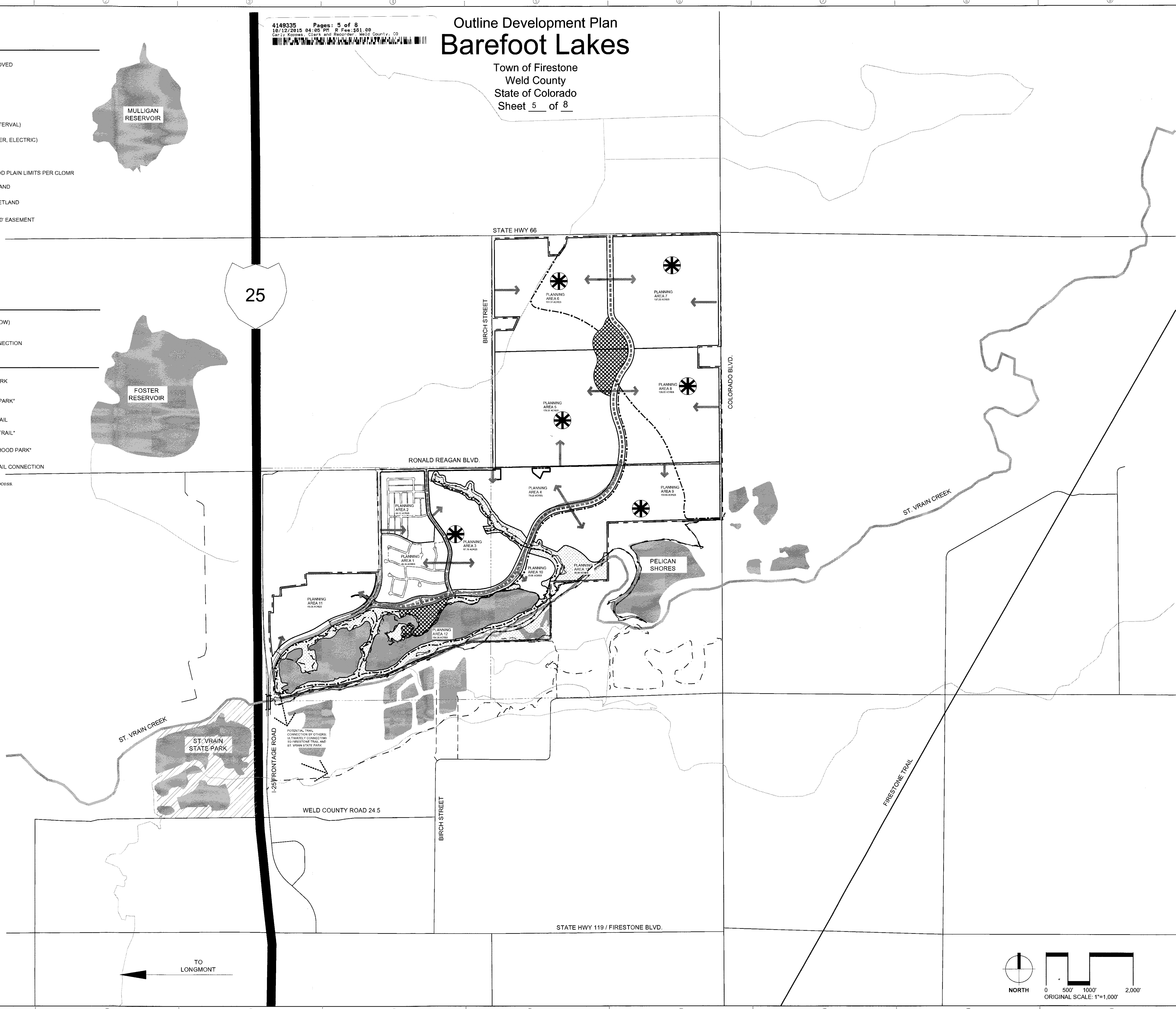
4149335 Pages: 5 of 8
10/12/2015 04:05 PM R Fee: \$61.00
Carl L. Koonen, Clerk and Recorder, Weld County, CO

- LEGEND**
- BUILDINGS TO BE REMOVED
 - ODP BOUNDARY
 - SEWER
 - GAS
 - CONTOURS (1-FOOT INTERVAL)
 - OTHER UTILITIES (WATER, ELECTRIC)
 - SWALE
 - PROPOSED FEMA FLOOD PLAIN LIMITS PER CLMCR
 - JW - JURISDICTIONAL WETLAND
 - USW - WATERS OF THE US WETLAND
 - EXISTING GAS WELL 150' EASEMENT

- LAKE
- OPEN SPACE
- PLANNING AREA

- CIRCULATION**
- PARKWAY (VARIABLE ROW)
 - PROPOSED ROAD CONNECTION

- PARKS & TRAILS**
- EXISTING REGIONAL PARK
 - PROPOSED REGIONAL PARK*
 - EXISTING REGIONAL TRAIL
 - PROPOSED REGIONAL TRAIL*
 - PROPOSED NEIGHBORHOOD PARK*
 - POTENTIAL FUTURE TRAIL CONNECTION BY OTHERS
- *Exact location TBD during PDP/FDP process.



4149335 Pages: 6 of 8
 10/12/2015 04:05 PM R Fee: \$81.00
 Carly Kosses, Clerk and Recorder, Weld County, CO

Outline Development Plan Barefoot Lakes

Town of Firestone
 Weld County
 State of Colorado
 Sheet 6 of 8

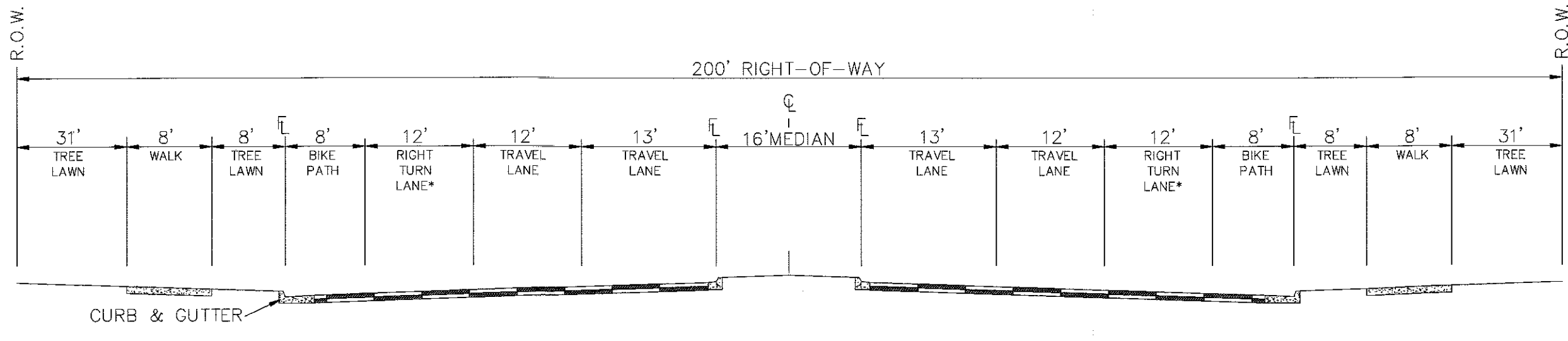
DESIGNWORKSHOP

Landscape Architecture • Land Planning
 Urban Design • Tourism Planning
 Asheville • Aspen • Austin • Denver
 Salt Lake City • Lake Tahoe

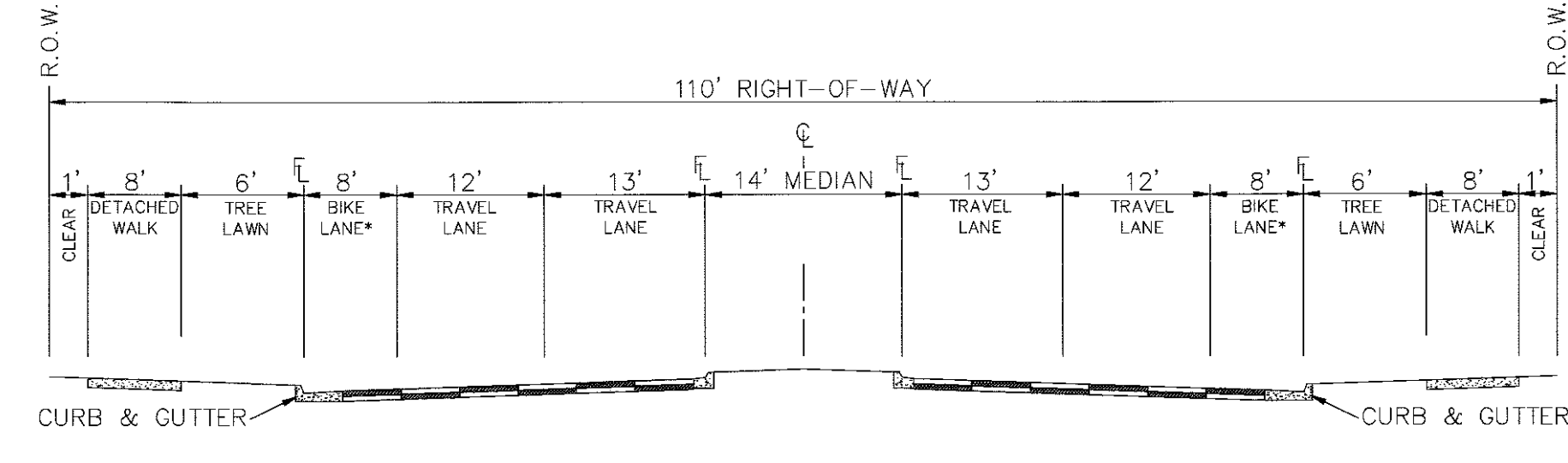
1390 Lawrence Street, Suite 200
 Denver, CO 80204-2048
 (303) 623-5186
 Facsimile (303) 623-2260

WWW.DESIGNWORKSHOP.COM

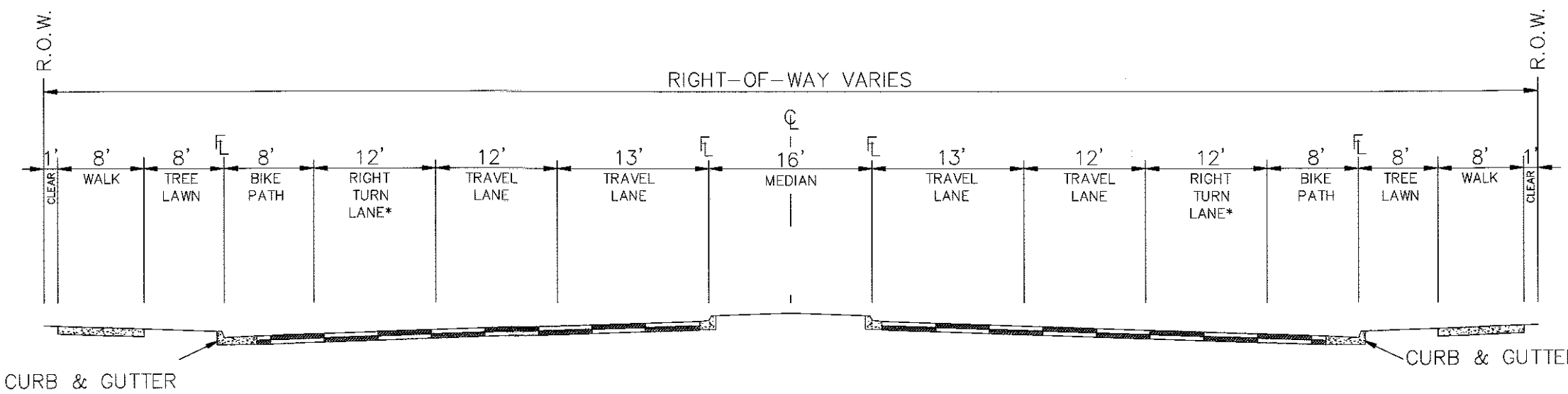
BAREFOOT LAKES OUTLINE DEVELOPMENT PLAN WELD COUNTY, COLORADO



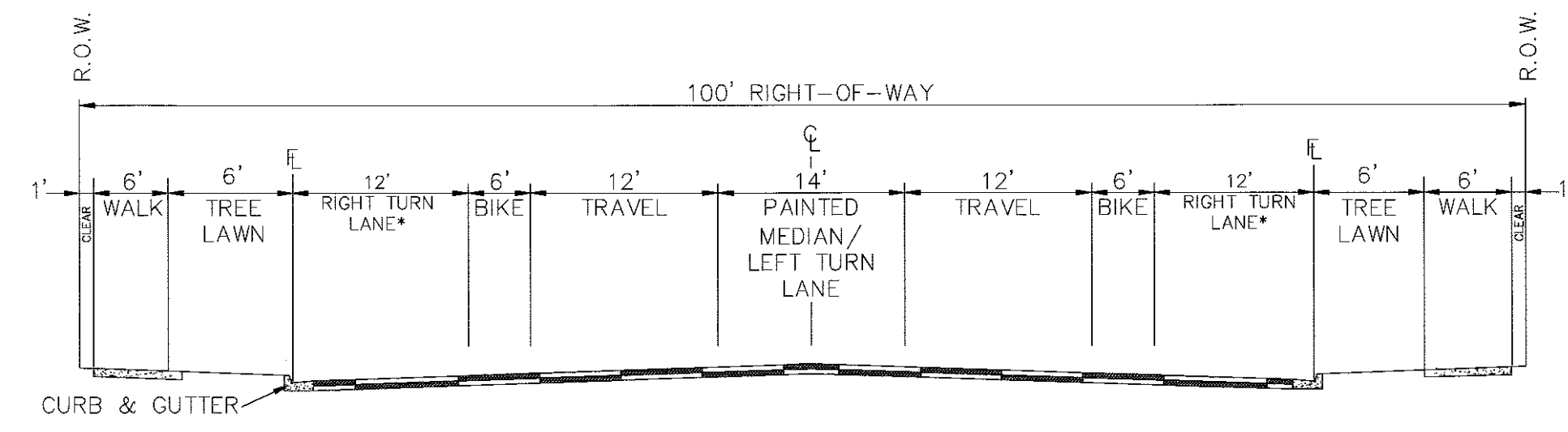
MAJOR ARTERIAL S.H. 66
 *TURN LANE PROVIDED WHEN REQUIRED
 N.T.S.



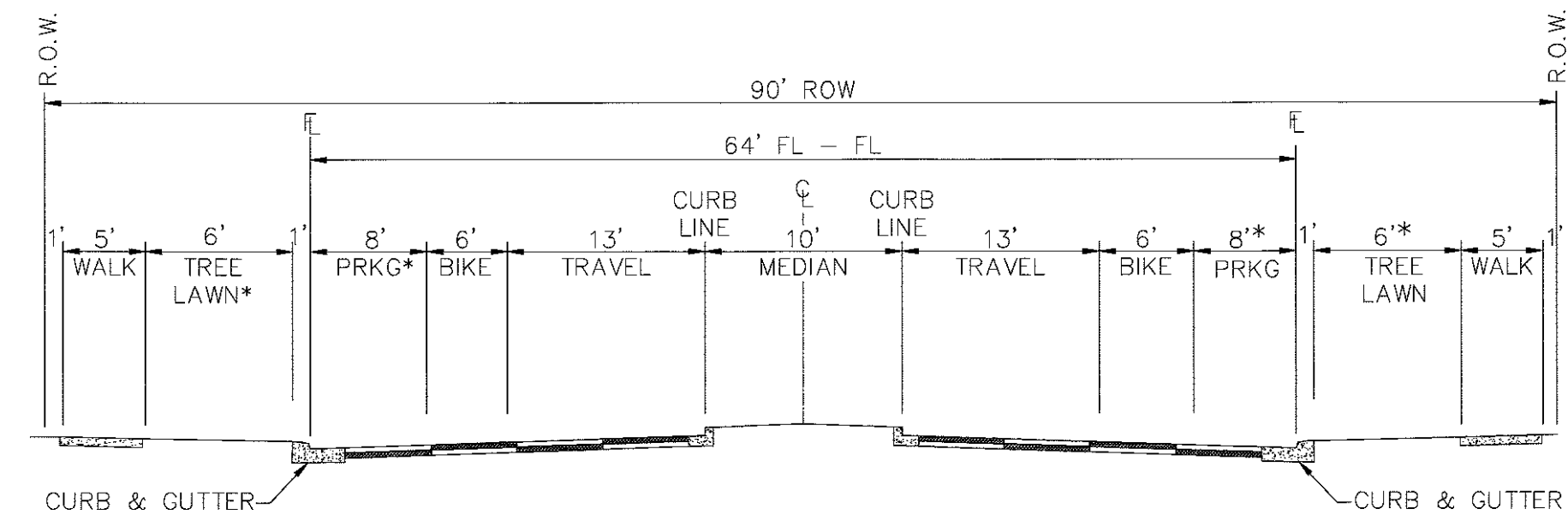
**COLORADO BLVD. & RONALD REGAN BLVD.
MINOR ARTERIAL
(WITH BIKE LANES)**
 *TREE LAWN AREA MAY SERVE AS TURN LANE(S) WHEN REQUIRED
 N.T.S.



**WCR 9 1/2
MAJOR ARTERIAL - MODIFIED
(WITH BIKE LANES)**
 *TURN LANE PROVIDED WHEN REQUIRED



**COLLECTOR - MODIFIED
(WITH BIKE LANES)**
 *TURN LANE PROVIDED WHEN REQUIRED
 N.T.S.



**COLLECTOR - MODIFIED
(WITH ON STREET PARKING)**
 *PARKING AND TREE LAWN AREA MAY SERVE AS TURN LANE(S) AT ARTERIAL INTERSECTIONS

FOR REFERENCE ONLY-THE FOLLOWING SECTIONS MAY BE UTILIZED IN ADDITION
 TO THE TOWN OF FIRESTONE STANDARD ROAD SECTIONS

REFERENCE STREET SECTIONS

SHEET NUMBER
ODP-6
 PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES

Sheet:
 REFERENCE STREET SECTIONS

Name of Application: Barefoot Lakes
 Type of Submittal: OUTLINE DEVELOPMENT PLAN
 Filing Number:
 Phase Number:
 Preparation Date: 04.08.2015
 Revision #1: 05.06.2015
 Revision #2: 05.14.2015
 Revision #3: 06.26.2015
 Revision #4: 08.17.2015
 Sheet 6 of 8

Aug 17, 2015, 12:18pm
 F:\Projects\Barefoot Lakes Master Planning\CD-CAD\02 Sheets\Information\ZODP.dwg

Outline Development Plan Barefoot Lakes

Town of Firestone
Weld County
State of Colorado
Sheet 7 of 8

4149335 Pages: 7 of 8
10/12/2015 04:05 PM R Fee: \$81.00
City of Firestone, Clerk and Recorder, Weld County, CO

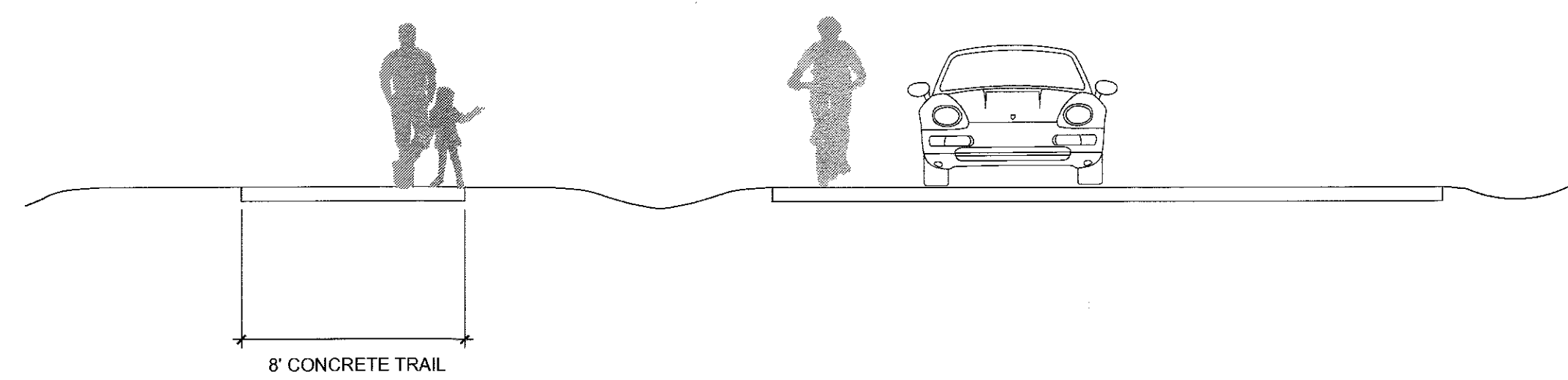
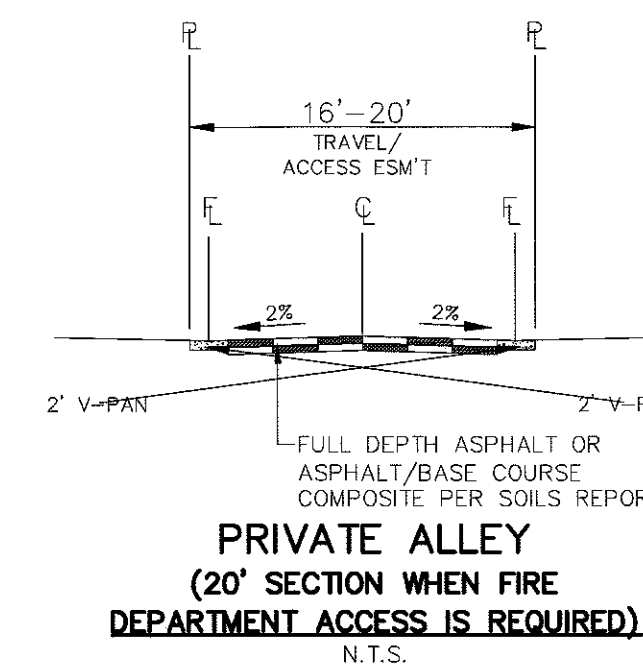
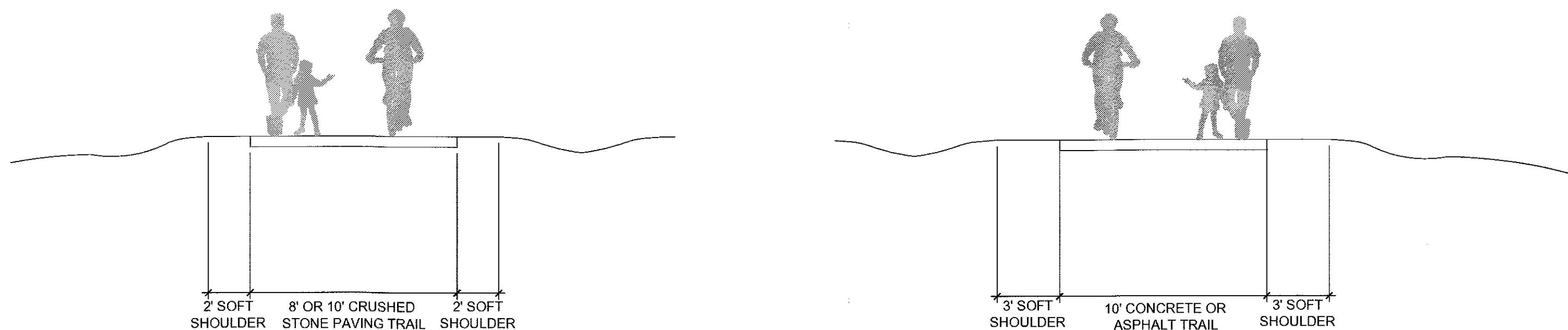
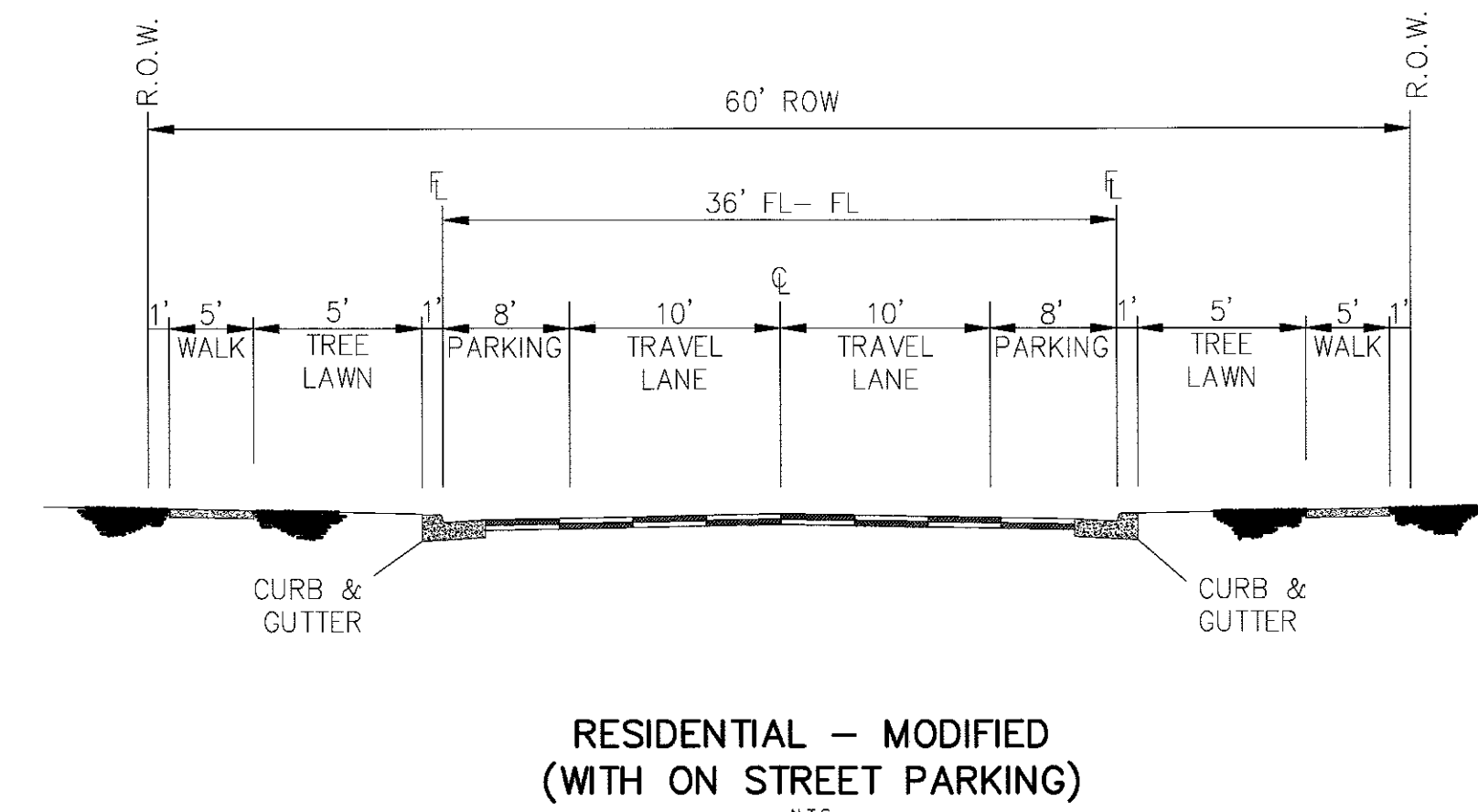
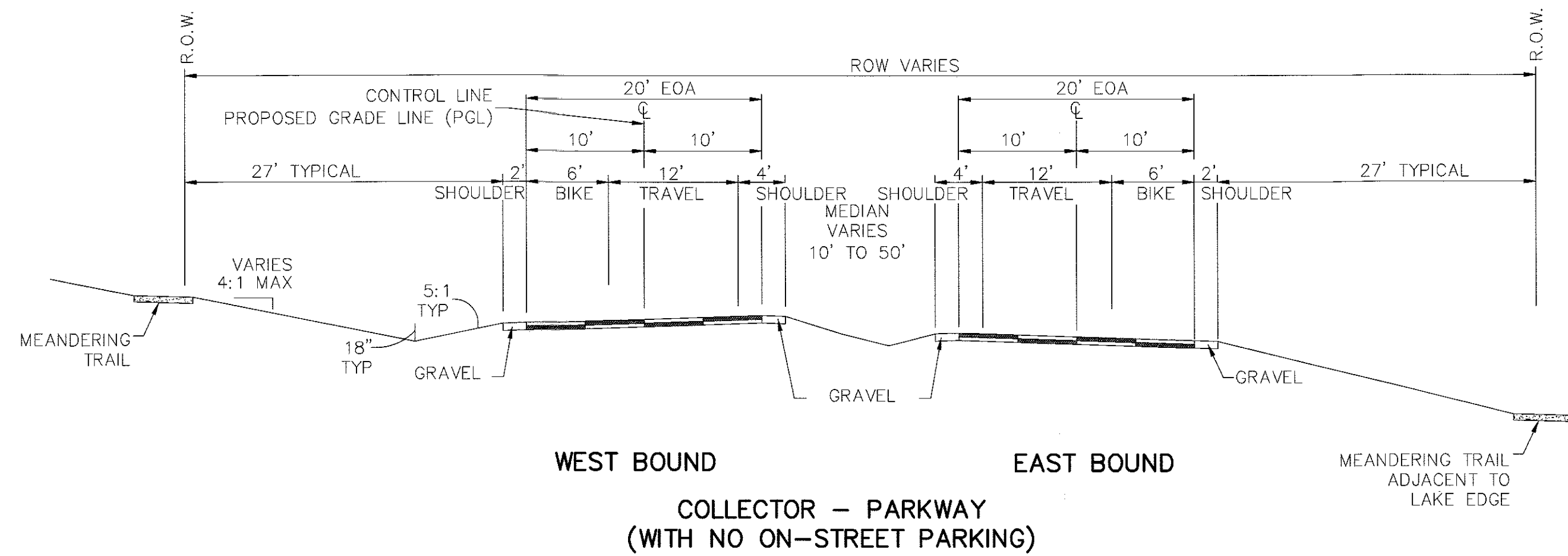
DESIGNWORKSHOP

Landscape Architecture • Land Planning
Urban Design • Tourism Planning
Asheville • Aspen • Austin • Denver
Salt Lake City • Lake Tahoe

1390 Lawrence Street, Suite 200
Denver, CO 80204-2048
(303) 623-5186
Facsimile (303) 623-2260

WWW.DESIGNWORKSHOP.COM

BAREFOOT LAKES OUTLINE DEVELOPMENT PLAN WELD COUNTY, COLORADO



FOR REFERENCE ONLY-THE FOLLOWING SECTIONS MAY BE UTILIZED IN ADDITION
TO THE TOWN OF FIRESTONE STANDARD ROAD SECTIONS

REFERENCE STREET SECTIONS

SHEET NUMBER

ODP-7

PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES

Sheet:
REFERENCE STREET SECTIONS

Name of Application: Barefoot Lakes
Type of Submittal: OUTLINE DEVELOPMENT PLAN
Filing Number:
Phase Number:
Preparation Date: 04.08.2015
Revision #1: 05.06.2015
Revision #2: 05.14.2015
Revision #3: 06.26.2015
Revision #4: 08.17.2015
Sheet 7 of 8

Outline Development Plan
Barefoot Lakes

Town of Firestone
Weld County
State of Colorado
Sheet 8 of 8

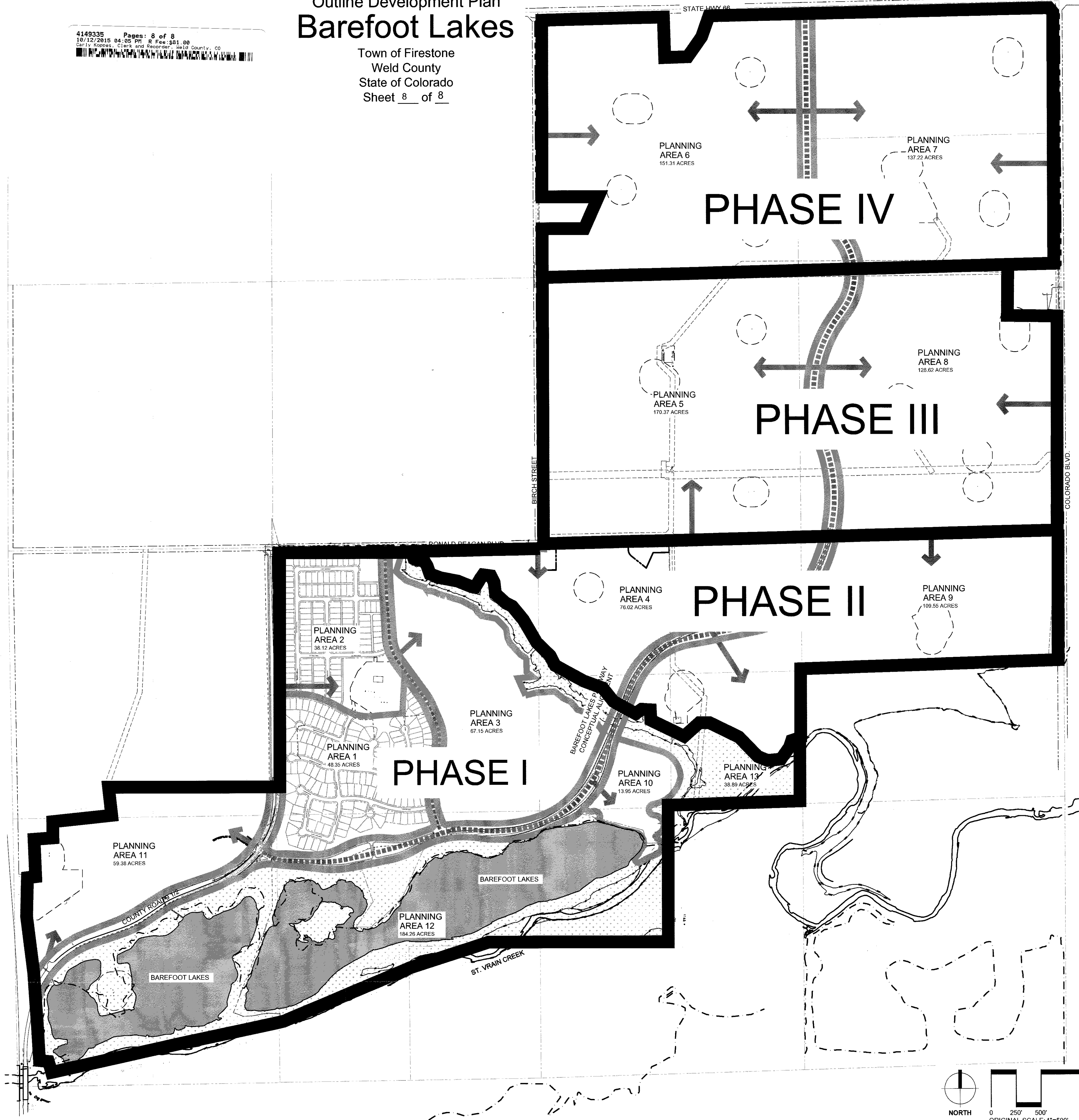
4149335 Pages: 8 of 8
10/12/2015 04:05 PM R Fee: 321.00
Carly Komes, Clerk and Recorder, Weld County, CO

DESIGNWORKSHOP

Landscape Architecture • Land Planning
Urban Design • Tourism Planning
Asheville • Aspen • Austin • Denver
Salt Lake City • Lake Tahoe

1390 Lawrence Street, Suite 200
Denver, CO 80204-2048
(303) 623-5186
Facsimile (303) 623-2260

WWW.DESIGNWORKSHOP.COM



BAREFOOT LAKES
OUTLINE DEVELOPMENT PLAN
WELD COUNTY, COLORADO

PHASING

SHEET NUMBER
ODP-8

PROJECT NUMBER: 5312

FIRESTONE INFORMATION BLOCK

Development:
BAREFOOT LAKES
Sheet:
PHASING

Name of Application: Barefoot Lakes
Type of Submittal: OUTLINE DEVELOPMENT PLAN
Filing Number:
Phase Number:
Preparation Date: 04.08.2015
Revision #1: 05.06.2015
Revision #2: 05.14.2015
Revision #3: 06.26.2015
Revision #4: 08.17.2015
Sheet 8 of 8

